

REVISION TABLE	DESCRIPTION
NUMBER	DATE



TITLE PAGE	01
LOCATION PLAN AND NOTES	02
SITE PLAN	03
DEMO PLANS	04
BUILDING PLANS	05
BUILDING PLANS	06
SECOND FLOOR AND ROOF FRAMING PLANS	07
BUILDING ELEVATIONS	08
BUILDING DETAILS	09
BUILDING ELEVATIONS	10

BUILDING SECTIONS	11
ELECTRICAL PLAN	12
ELECTRICAL PLAN	13
PLUMBING PLAN	14
PLUMBING PLAN	15

DOOR AND WINDOW SCHEDULES	16
CABINET SCHEDULES	17



**THE CHELSEA APARTMENTS RENOVATION  
 CONVERT 4 3-BEDROOM UNITS TO 5 UNITS MIXED UNIT CONFIGURATIONS  
 ( 2-3BEDRMS AND 3-2BEDRMS**

**11 REDCOAT LANE (NORTH), TOWN OF ST GEORGE'S**

GENERAL NOTES AND SPECIFICATIONS

THE GENERAL CONTRACTOR SHALL FULLY COMPLY WITH ALL LOCAL CODE REQUIREMENTS. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, OR REGULATIONS. THE CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND SERVICE AUTHORITIES.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THESE DRAWINGS.

DESIGN CRITERIA: AS 2014 BRBC/Bermuda Draft Plan 2018  
 SEE ADDITIONAL NOTES WITHIN PLAN SET.

**Property Description**  
 Zone: Open Space  
 BOCA user Group: R3  
 Existing Buildings  
 BHC Vested Lands Site number : 12  
 Lot size: (est Area within effect area)  
 45,608 sq.ft  
 Existing building area: (gross total)  
 Living: 6,042 sq.ft. + Annex 2,206 sq.ft  
 Total: 8,248.00 sq.ft

Roof Area(s): 5,300 sq.ft  
 Tank: 28,000 gal

Hard surfacing: (gross total)  
 Existing: 8,027 sq.ft.  
 Proposed additional hard surfacing :  
 2,833.49 sq.ft.  
 (increase roadway)

**Total: =10,860.49 sq.ft**

**Total % of proposed site coverage (BLDG(s)+ hard-surfacing): 23.81%**  
**SITE AREA 4.22 HECTARES / 10.42 ACRES / 454327 SQUARE FEET**



# 1. GENERAL

- 1.1. THESE NOTES APPLY TO ALL STRUCTURAL DRAWINGS.
- 1.2. CHECK ALL DIMENSIONS ON STRUCTURAL DETAILS WITH THE ARCHITECTURAL DRAWINGS. REPORT ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.
- 1.3. WHERE SITE CONDITIONS VARY FROM THE RECORD DRAWINGS, THE CONTRACTOR SHALL CONTACT THE REGISTERED STRUCTURAL ENGINEER TO OBTAIN ALTERNATIVE DETAILS.
- 1.4. CONTRACTOR TO ENSURE THAT THE CONSTRUCTION LOADS DO NOT EXCEED DESIGN LOADS.

## 2. DEMOLITION

- 2.1. REMOVE EXISTING CONSTRUCTION AS INDICATED ON THE DRAWINGS. TAKE NECESSARY PRECAUTIONS TO SUPPORT THE STRUCTURE THAT IS TO REMAIN AND DISPOSE PROMPTLY OF MATERIALS FROM DEMOLITION OPERATIONS. ALL DEBRIS SHALL BE DISPOSED OFF AT LEGAL DUMPSITES.
- 2.2. CARE SHALL BE TAKEN DURING DEMOLITION OF THE EXISTING BUILDING SO AS NOT TO UNDULY DISTURB ANY PART OF THE EXISTING STRUCTURE THAT IS TO REMAIN.

## 3. CONCRETE

- 3.1. ALL STRUCTURAL CONCRETE SHALL ACHIEVE A MINIMUM CYLINDER COMPRESSIVE STRENGTH OF 3500 PSI AT 28 DAYS, (UNO).
- 3.2. CONCRETE SHALL BE MECHANICALLY COMPACTED IN THE APPROVED MANNER.
- 3.3. CONCRETE COVER TO REBARS SHALL BE AS FOLLOWS, (UNO):

LOCATION	CLEAR COVER
FOUNDATIONS	3" (THREE INCHES) TO EARTH FACE.
SLABS	1 1/2" (ONE AND ONE-HALF INCHES).
BEAMS	1 1/2" (ONE AND ONE-HALF INCHES).
SUSPENDED SLABS ON METAL DECKING	NOT APPLICABLE
COLUMNS	1 1/2" (ONE AND ONE-HALF INCHES).
RETAINING WALLS	3" (THREE INCHES) TO EARTH FACE.

- 3.4. NO ADDITIVES TO BE USED WITHOUT THE PRIOR APPROVAL FROM A REGISTERED STRUCTURAL ENGINEER.
- 3.5. ONLY PERSONNEL WITH EXPERIENCE IN STRUCTURAL CONCRETE SHALL BE RESPONSIBLE FOR THE PLACEMENT OF CONCRETE IN ACCORDANCE WITH SECTION 12 BRBC 2014.
- 3.6. DO NOT CUT OR CORE ANY OPENINGS OR THEIR LIKE IN ANY STRUCTURAL CONCRETE MEMBERS WITHOUT PRIOR WRITTEN APPROVAL FROM A REGISTERED STRUCTURAL ENGINEER.
- 3.7. CRYSTALLINE WATERPROOFING ADDITIVE TO BE USED IN ALL CONCRETE FOR ROOF SLABS, TANK BASE SLABS, AND TANK WALLS UNO. PROPRIETARY PRODUCT TO BE APPROVED BY A REGISTERED STRUCTURAL ENGINEER.

## 4. REINFORCING STEEL

- 4.1. ALL STEEL REBARS SHALL BE GALVANIZED WITH A MINIMUM YIELD STRESS OF 60,000 PSI (UNO).
- 4.2. (UNO), MINIMUM ALLOWABLE LAP LENGTHS TO REBARS SHALL BE:

T6	12" (TWELVE INCHES)
T8	15" (FIFTEEN INCHES)
T10	18" (EIGHTEEN INCHES)
T12	24" (TWENTY-FOUR INCHES)
T16	32" (THIRTY-TWO INCHES)
T20	40" (FORTY INCHES)
T25	50" (FIFTY INCHES)
WIRE MESH	12" (TWELVE INCHES)

- 4.3. CHAIRS FOR REINFORCEMENT SHALL BE PLASTIC OR CONCRETE (OR APPROVED EQUIVALENT).
- 4.4. REBAR AT ENDS OF CONCRETE LINTELS, STAIRS PAD FOOTINGS, BEAMS AND SLABS ARE TO HAVE STANDARD 90° BENDS. ANY REBAR, WHICH IS CUT, AND BENT ON SITE SHALL HAVE TWO APPLICATIONS OF "ZINC" RICH PAINT APPLIED TO THE ENDS AND DAMAGED AREAS TO THE APPROVAL OF THE ENGINEER.
- 4.5. REBAR LAPS IN RETAINING WALLS AND FOUNDATION WALLS SHALL BE PROVIDED WHERE APPLICABLE TO SUIT CONSTRUCTION LOGISTICS.
- 4.6. UNLESS NOTED OTHERWISE, STRUCTURAL BEAMS AND SLABS THAT ARE SUPPORTED ON BERMUDA STONE WALLS SHALL BEAR ON CONCRETE PADS TO ENSURE NO CONTACT BETWEEN GALVANIZED STEEL AND STONE.

## 5. STRUCTURAL STEEL

- 5.1. ALL FABRICATION AND ERECTION OF STRUCTURAL STEELWORK SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF THE CODE OF STANDARD PRACTICE, LATEST EDITION, OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (A.I.S.C.) OR APPROVED EQUIVALENT.
- 5.2. ALL STRUCTURAL STEEL SHAPES, PLATES AND BARS, SHALL BE IN ACCORDANCE WITH ASTM A50 (F<sub>y</sub> = 50 KSI) UNLESS NOTED OTHERWISE.
- 5.3. ALL CONNECTION BOLTS TO BE GALVANIZED ASTM A325 BEARING TYPE OR EQUIVALENT.
- 5.4. ANCHOR BOLTS TO BE GALVANIZED ASTM A36.
- 5.5. ALL NUTS, BOLTS, WASHERS, NAILS, SCREWS AND OTHER FASTENERS SHALL BE HOT DIP GALVANIZED IN ACCORDANCE WITH ASTM A153
- 5.6. ALL NUTS, BOLTS, WASHERS, NAILS, SCREWS AND OTHER FASTENERS SHALL OBSERVE THE COMPATIBILITY RULE OF DISSIMILAR MATERIALS TO RESIST GALVANIC CORROSION.
- 5.7. ALL EXTERIOR STEEL AND STEEL EXPOSED TO WEATHER INCLUDING SHELF ANGLES SHALL BE GALVANIZED UNLESS NOTED OTHERWISE.
- 5.8. ALL STRUCTURAL STEEL TO BE PAINTED WITH AN APPROVED ZINC-RICH PRIMER, EXCEPT STEEL RECEIVING GALVANIZING.
- 5.9. PROVIDE A MINIMUM BEARING OF 8" FOR ALL STEEL BEARING ON MASONRY/CONCRETE AND 4" FOR STEEL BEARING ON STEEL (UNO).
- 5.10. DO NOT CUT OR GORE ANY OPENINGS OR THEIR LIKE, IN ANY STRUCTURAL STEEL MEMBERS WITHOUT PRIOR WRITTEN APPROVAL FROM A REGISTERED STRUCTURAL ENGINEER.
- 5.11. WHERE A STRUCTURAL STEEL SHAPE SHOWN ON THE DRAWINGS IS UNAVAILABLE, A SHAPE OF EQUAL OR GREATER SECTION PROPERTIES AND STRUCTURAL CAPACITY SHALL BE SUBSTITUTED UPON APPROVAL BY A REGISTERED STRUCTURAL ENGINEER.
- 5.12. ALL STRUCTURAL STEELWORK SHALL BE SHOP PAINTED UNO. SHOP PAINTING AND SURFACE PREPARATION SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF THE CODE OF STRUCTURAL PRACTICE, LATEST EDITION, OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (A.I.S.C.) OR APPROVED EQUIVALENT.
- 5.13. WELDED CONNECTIONS: ELECTRODES: E70XX UNO.
- 5.14. ALL WELDING SHALL CONFORM TO THE REQUIREMENTS OF 'THE STANDARD CODE OF WELDING IN BUILDING CONSTRUCTION', LATEST EDITION, OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (A.I.S.C.) OR APPROVED EQUIVALENT.
- 5.15. SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL OF COMPLIANCE WITH THE STRUCTURAL DESIGN.

## 6. TIMBER

- 6.1. TIMBER TO BE TYPE PS 20 GRADED IN ACCORDANCE WITH NLGA GRADING RULES, AND TO BE TYPE "STRUCTURAL LIGHT FRAMING, No. 2" SOUTHERN YELLOW PINE (PITCH PINE).
- 6.2. ALL TIMBER TO BE WOLMANISED TYPE PRESSURE TREATED.
- 6.3. ALL STEEL NUTS, BOLTS AND WASHERS ARE TO BE HOT DIP GALVANIZED. BOLT HOLES SHALL BE NO LARGER THAN 1/16" GREATER THAN THE NOMINAL BOLT SIZE. ALL BOLTED JOINTS SHALL HAVE WASHERS FITTED UNDER THE HEAD OF THE BOLT AND UNDER EACH NUT. THE SIZE OF THE WASHERS SHALL BE FOR 1/2" BOLTS AND UNDER: 2" DIAMETER x 1/8" THICK; AND, FOR 5/8" BOLTS: 2 1/2" DIAMETER x 3/16" THICK.
- 6.4. DO NOT CUT OR CREATE ANY OPENINGS OR THEIR LIKE INTO ANY TIMBER MEMBERS WITHOUT PRIOR WRITTEN APPROVAL FROM A REGISTERED STRUCTURAL ENGINEER.

## 7. INSPECTION AND TESTING

- 7.1. IF REQUIRED, THE CONTRACTOR SHALL PROVIDE 24 HOURS NOTICE FOR THE INSPECTION OF ALL REINFORCING PRIOR TO PLACING CONCRETE.
- 7.2. CONCRETE TO BE TESTED BASED ON ANY SPECIFICATION REQUIREMENTS. IF DEEMED WARRANTED, TESTING TO BE DONE BY THE SUPPLIER.

## 8. DESIGN CRITERIA

- 8.1. THE STRUCTURAL DESIGN HAS BEEN COMPLETED IN ACCORDANCE WITH THE BRBC 2014 WHICH REFERENCES THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE.
- 8.2. THE FOOTING DESIGN BEARING PRESSURE IS 6000PSF UNO.
- 8.3. THE SPECIFIED CONCRETE STRENGTH IS 3500PSI UNO.
- 8.4. THE DESIGN WIND PRESSURE IS 110MPH BASIC WIND SPEED, EXPOSURE C, SUSTAINED WIND SPEED.



**LOCATION PLAN**  
N.T.S



REVISION TABLE	DESCRIPTION
NUMBER	DATE



REVISION NUMBER	DATE	DESCRIPTION

Chelsea Apartments - Renovations

SITE PLAN PLAN

DRAWINGS PROVIDED BY:  
Project Management Dept.  
KEFJ

DATE:

1/17/2025

SCALE: per plan sheet

REGT-1R

SHEET:

A-3



REVISION NUMBER	DATE	DESCRIPTION

Chelsea Apartments - Renovations

DEMO BUILDING PLANS

DRAWINGS PROVIDED BY:  
Project Management Dept.  
KEF J

DATE:

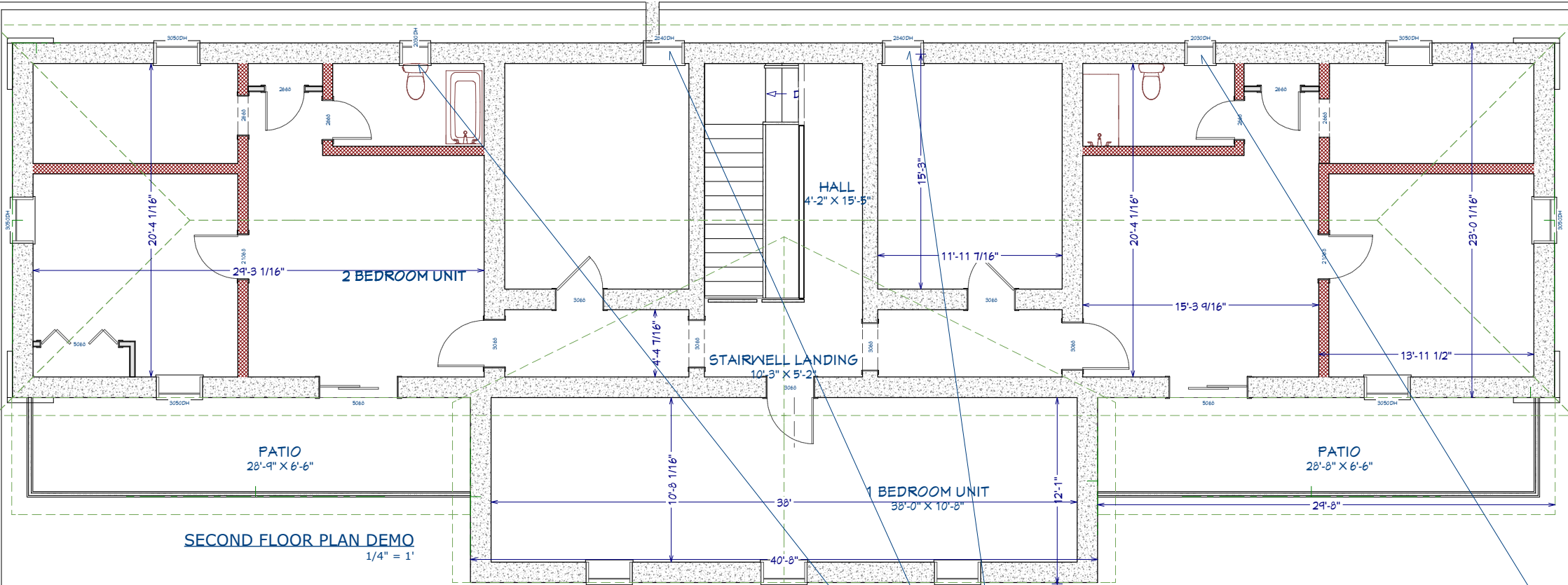
1/17/2025

SCALE: per plan sheet

REGT-1R

SHEET:

A-4

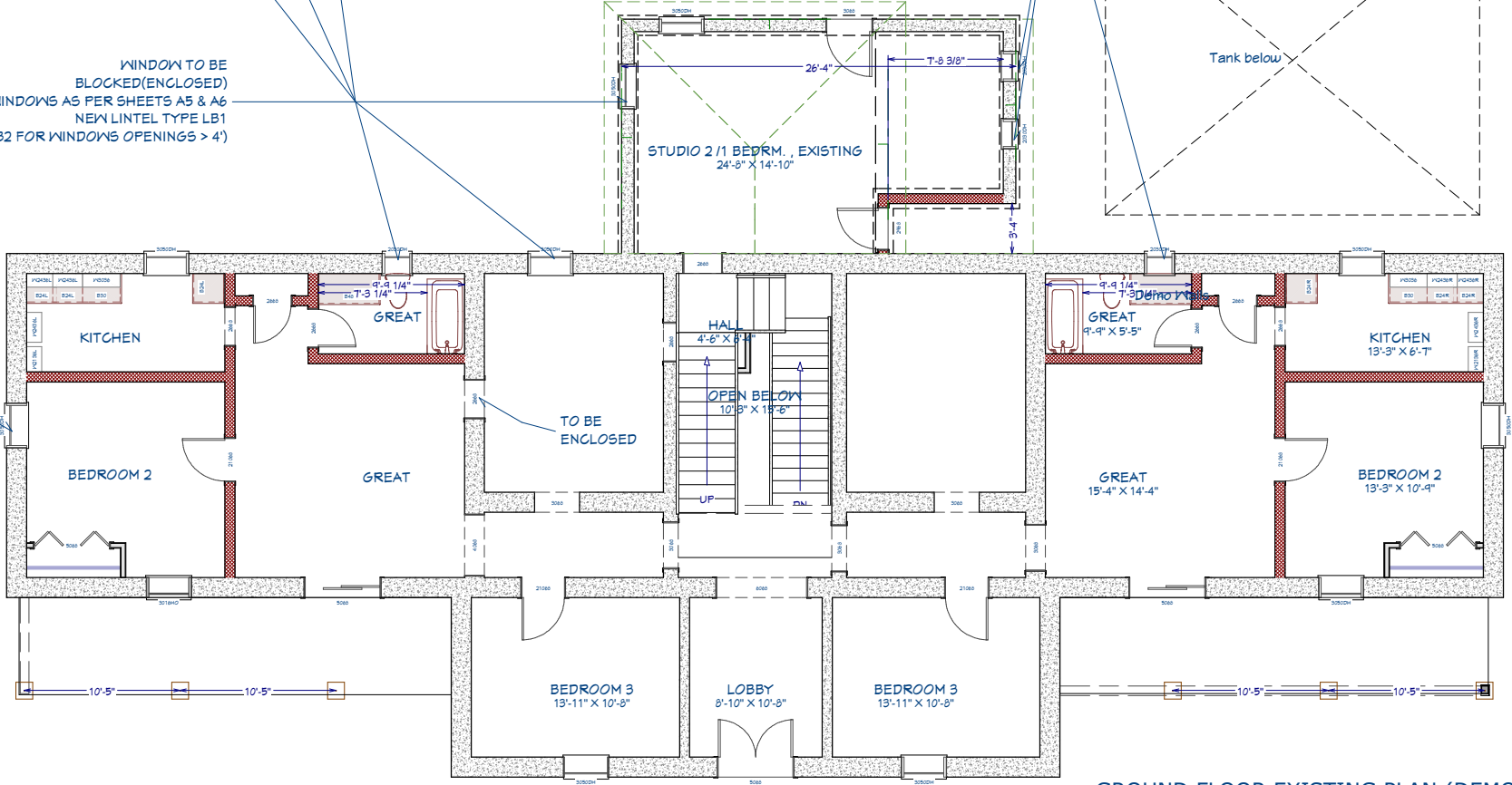


**DEMOLITION NOTES**  
Access for vehicles/trucking of debris to be via Redcoat Lane.  
Remove walls, partitions, structural systems, Mechanical and Electrical services, and associated items as noted.  
Finishes to be removed as required to suit new proposal - Refer to Owners Finishes Schedule. Disconnect all power and illumination as necessary for the completion of removal operations. Abandoned services not to be extended or reused to be removed. Disconnect all service piping necessary for the completion of removal operations. Cap and abandon service lines not to be extended or reused. Reroute services which must be maintained. Refer to Plumbing & Electrical drawings for details.  
All removed equipment items, walls, Structural, Mechanical, Electrical, and finish materials other than 'Owner salvaged' items shall be the sole responsibility of the Contractor, and shall be carefully & appropriately removed from the site.  
Existing utilities and service lines discovered during removal operations shall be immediately reported to the Contractor.  
Provide suitable protection for adjacent existing areas before, during and following removal & demolition operations.  
Debris shall be carefully removed using adequately enclosed containers to prevent unwanted debris spill during removal.  
No material shall be burned, stored or sold in either the building or on the site. All removed material and debris, unless identified otherwise, shall become the Contractor's property and shall be removed immediately and completely from the building and the site.  
Leave the site clean, ready for further construction.

WINDOW TO BE BLOCKED(ENCLOSED)  
NEW WINDOWS AS PER SHEETS A5 & A6  
NEW LINTEL TYPE LB1  
(LB2 FOR WINDOWS OPENINGS > 4')

WINDOW TO BE BLOCKED(ENCLOSED)  
NEW WINDOWS AS PER SHEETS A5 & A6  
NEW LINTEL TYPE LB1  
(LB2 FOR WINDOWS OPENINGS > 4')

WINDOW TO BE BLOCKED(ENCLOSED)  
NEW WINDOWS AS PER SHEETS A5 & A6  
NEW LINTEL TYPE LB1  
(LB2 FOR WINDOWS OPENINGS > 4')



GROUND FLOOR EXISTING PLAN (DEMO)  
3/16" = 1'



**LINTEL BEAMS:**

**LB1- 4' MAX WOW, MIN 12" DEPTH, 2T16 (BOT.)**

**LB2 - 4'-8" MAX WOW, MIN 12" DEPTH, 2T10 (TOP) PLUS 2t16(BOT) W/ T8 links @8" CTS.**

**LB3 - 12'-0" MAX : 10" DEPTH 2T10 BOT, 2T12 TOP T6 @12"C/C**



REVISION TABLE	DESCRIPTION
NUMBER	DATE

**Chelsea Apartments - Renovations**

**BUILDING PLANS**

DRAWINGS PROVIDED BY:  
Project Management Dept.  
KEF J

DATE:

1/17/2025

SCALE: per plan sheet

REGT-1R

SHEET:

**A-5**

NOTES:  
RENDERINGS ARE NOT TO SCALE; ALL RENDERINGS ARE FOR VISUAL REFERENCE ONLY. PLAN UPDATES MAY NOT BE REFLECTED IN RENDERINGS. RENDERINGS SHALL NOT BE USED FOR CONSTRUCTION.  
FINAL FINISHES SHALL BE CONFIRMED BY OWNER AT PRE-CONSTRUCTION AND DURING CONSTRUCTION.

DEMO WALL AND SLAB TO TIE IN NEW SLAB ON GRADE (MATCH EXISTING SLAB THICKNESS).  
USE A142 GALV. MESH 1-1/2" COVER OVER 6 MIL. POLY ON 2" TO 4" SAND ON COMPACTED FILL

24" CONG. FOOTING CONTINUOUS 12" DEEP W/ 3T12 BARS T10 TRANSVERSE BARS @ 6"C.C. ON SOLID BEARING STRATUM.

24" CONG. FOOTING CONTINUOUS 12" DEEP W/ 3T12 BARS T10 TRANSVERSE BARS @ 6"C.C. ON SOLID BEARING STRATUM.

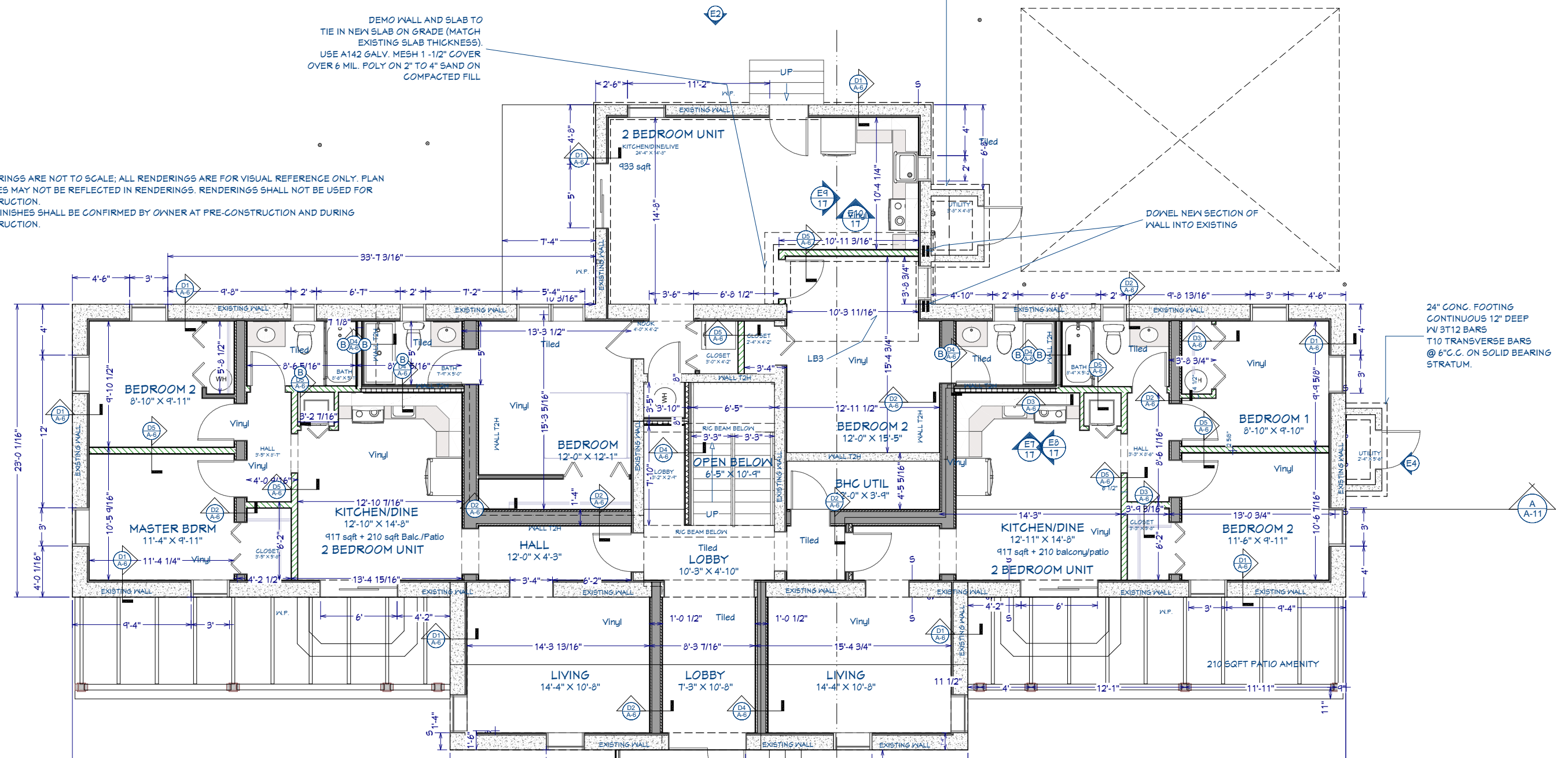
BUILDING 4" CMU RAILING WALL WITH GAP HEIGHT OF SHALL BE >32" < 34" FINISH WALL TO BUILDING FINISH AND COLOR

BUILDING STAIR SLAB ON GRADE 6" THICK WITH 1" UNDERSIDE LIP (FLOAT STAIR) A142 MESH OVER 6 MIL 1-1/2" COVER OVER 2" TO 4" SAND SAND ON COMPACT FILL STEP HEIGHT 7" TREAD WIDTH 15"

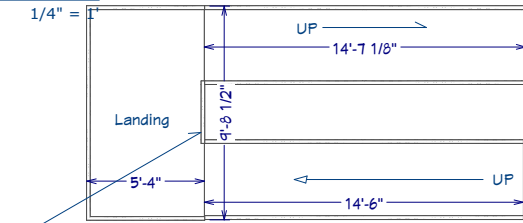
24" X 24" CONCRETE PAD FOOTING 12" DEEP W/ 3T12 BARS T10 TRANSVERSE BARS @ 6"C.C. ON SOLID BEARING STRATUM.

WOOD POST WITH STRUCTURAL SIMPSON STRONG-TIE ANCHOR OR EQUAL HOT-DIP GALV. ELEVATED FOR 6" X 6" P.T. TIMBER POST

ACCESSIBLE RAMP 3'-6" WIDE RAMP CONG. LANDING 5'-4" WIDE, RAMP 1/12 SLOPE RAILING HEIGHT 34" SET GRAB BAR 33" TO CENTER



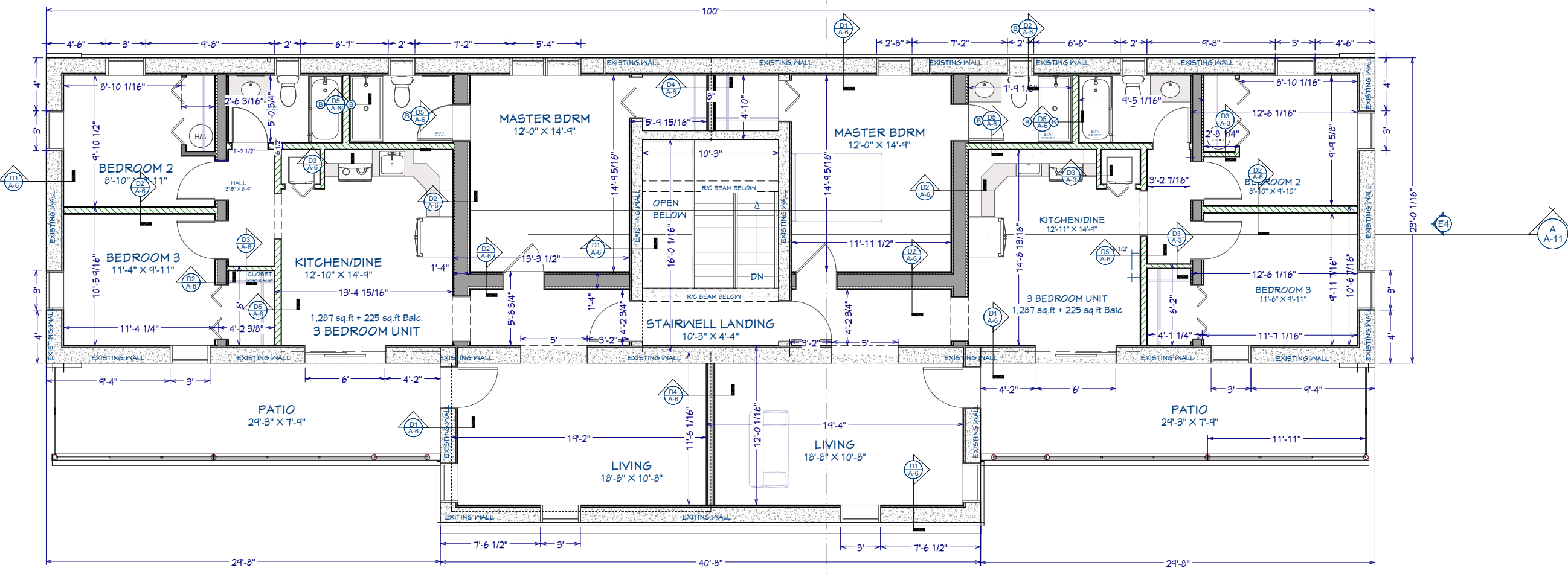
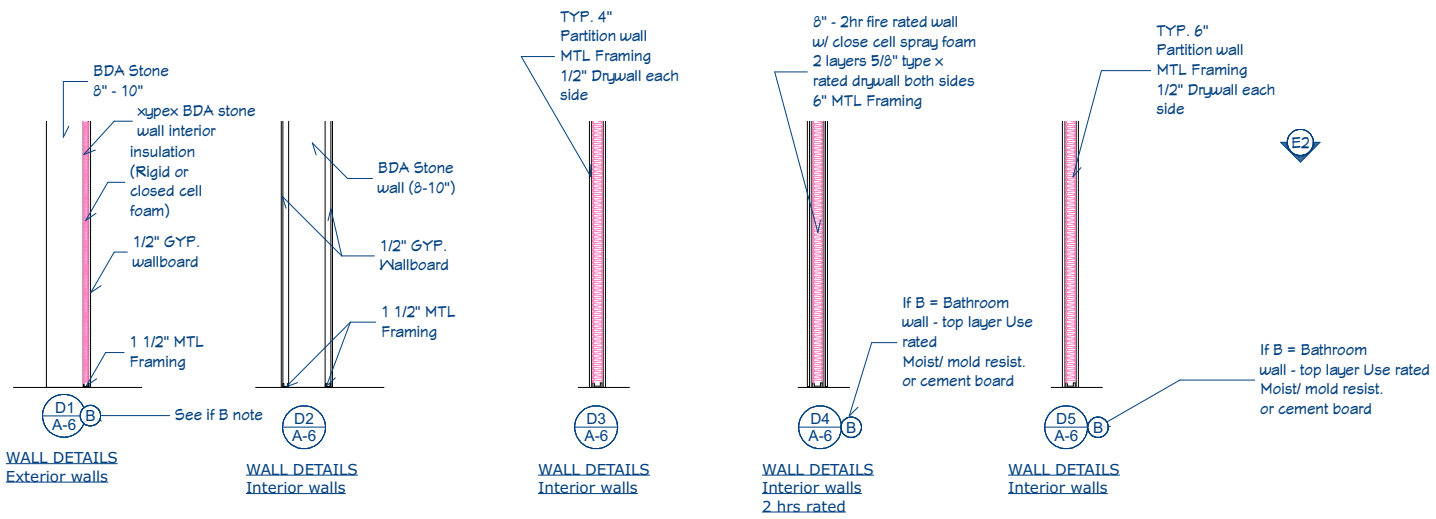
**GROUND FLOOR PLAN**





REVISION TABLE	DESCRIPTION
NUMBER	DATE

**LINTEL BEAMS:**  
**LB1 - 4' MAX WOW, MIN 12" DEPTH, 2T16 (BOT.)**  
**LB2 - 4'-8' MAX WOW, MIN 12" DEPTH, 2T10 (TOP) PLUS 2t16(BOT) W/ T8 links @8" CTS.**  
**LB3 - 12'-0" MAX : 10" DEPTH 2T10 BOT, 2T12 TOP T6 @12"C/C**



**SECOND FLOOR PLAN**  
1/4" = 1'

LIVING AREA  
2674 SQ FT







historical railing style of The Chelsea Apartment Building  
(Grade 3)



Restore balcony steel  
Replace like for like  
Railings and columns  
New 6" thick 3000psi  
concrete slab  
to be keyed into  
existing building wall  
4"  
min rest.

Exterior walls to  
receive stucco finish  
over fiber mesh

E5 WEST ELEVATION  
1/4" = 1'



E2 EAST ELEVATION  
1/4" = 1'



REVISION TABLE	DESCRIPTION
NUMBER	DATE

Chelsea Apartments -  
Renovations

BUILDING ELEVATIONS

DRAWINGS PROVIDED BY:  
Project Management Dept.  
KEFJ

DATE:

1/17/2025

SCALE: per  
plan  
sheet

REGT-1R

SHEET:

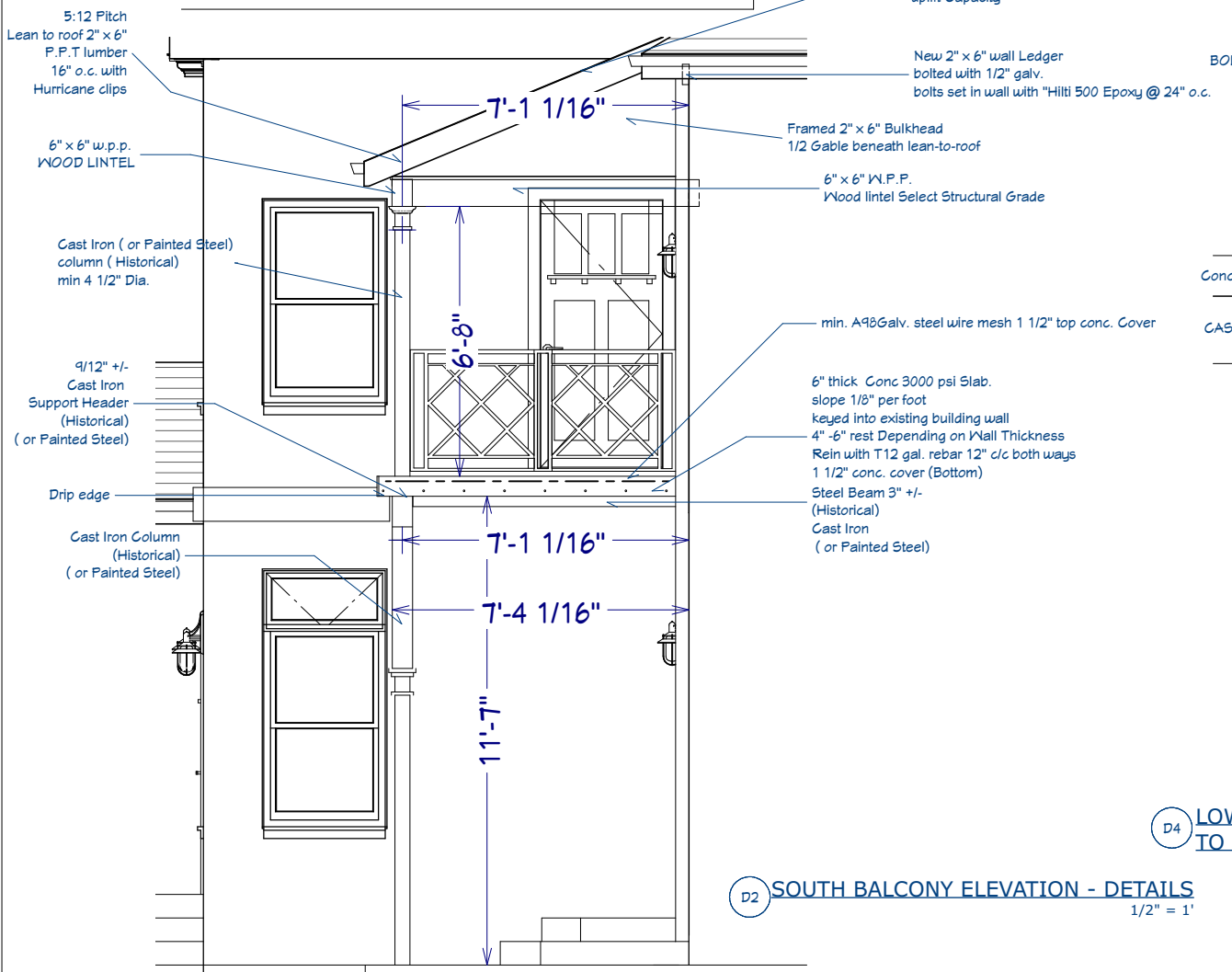
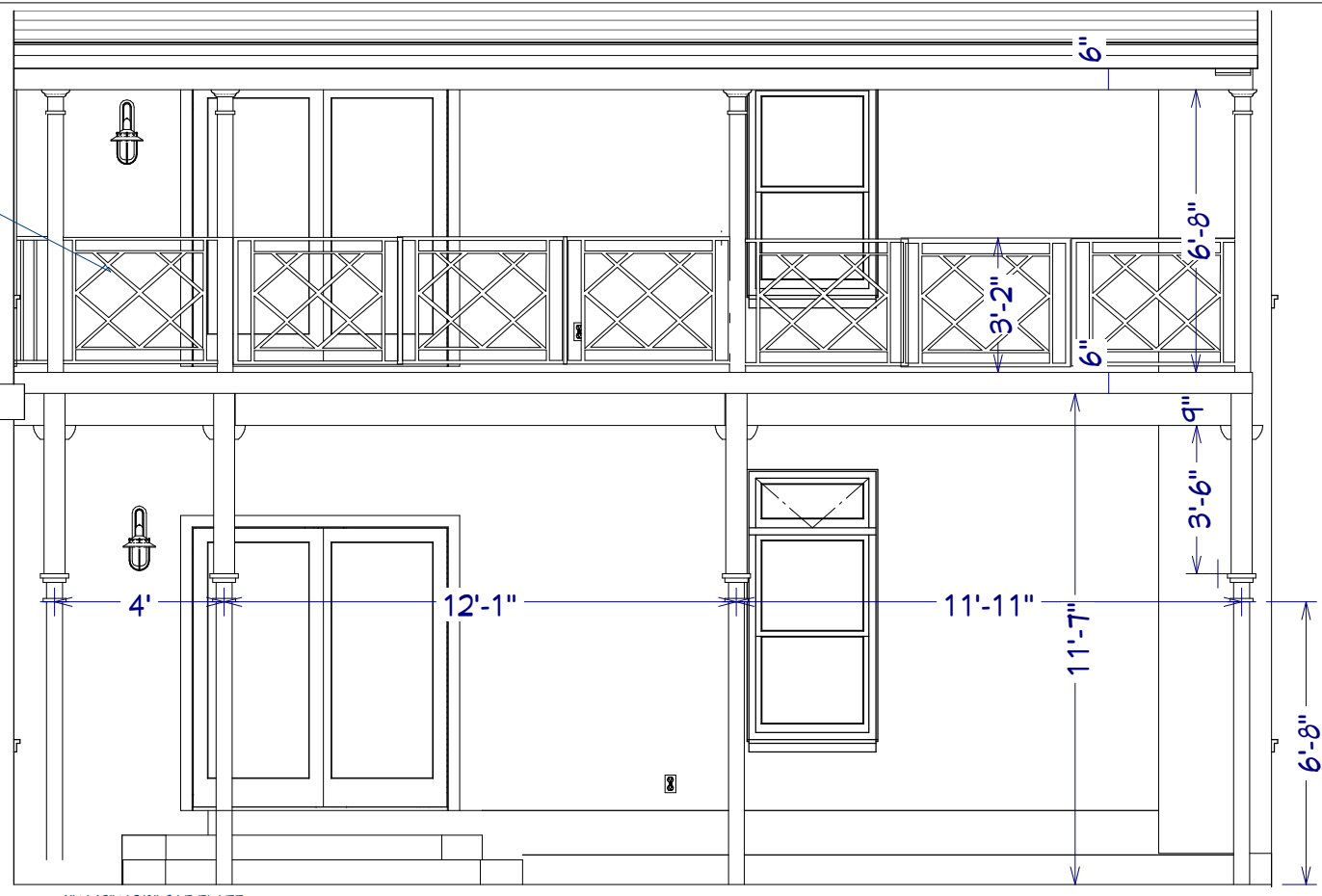
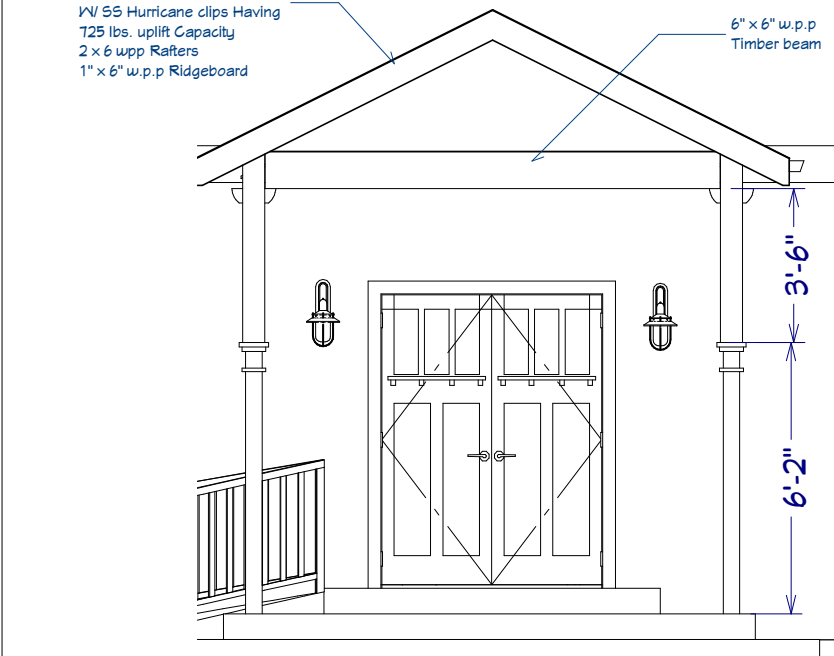
A-8

REVISION TABLE	DESCRIPTION
NUMBER	DATE

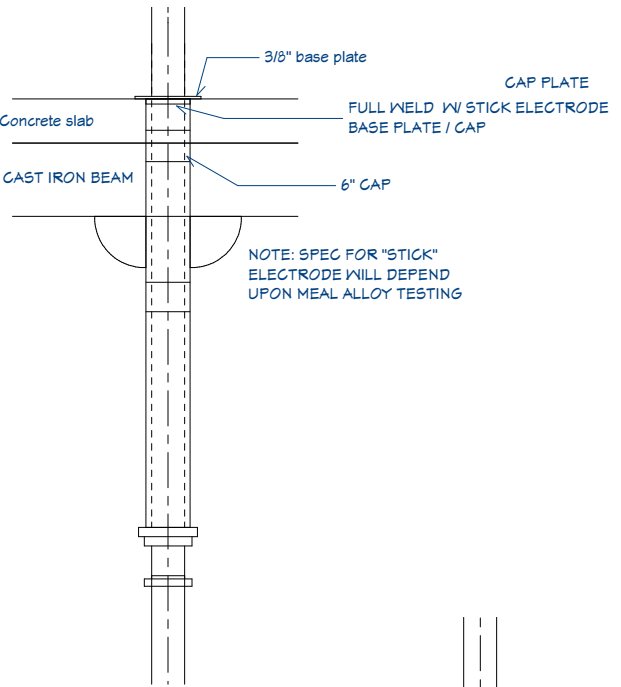
D1 WEST BALCONY ELEVATION DETAILS  
1/4" = 1'

New Entry Roof covering 6:12 pitch  
New Flat SKB Roof System on 1/2" Cement Board  
W/ SS Hurricane clips Having T25 lbs. uplift Capacity  
2 x 6 wpp Rafters  
1" x 6" w.p.p Ridgeboard

Fabricate New Railing system to Match existing  
attach Galv. Mesh to meet code



6" x 12" x 3/8" GAP PLATE WELDED TO COLUMN  
BOLTED TO 6" x 6" STRUCTURAL SELECT p.p.t BEAM W/ 4-1/2" DIA GALV THROUGH BOLTS



D3 UPPER COLUMN CAP - DETAILS  
1" = 1'



D4 LOWER FLOOR COLUMN WAIST TO UPPER BASE - DETAILS  
1" = 1'

D5 LOWER FLOOR COLUMN BASE - DETAILS  
1" = 1'

D2 SOUTH BALCONY ELEVATION - DETAILS  
1/2" = 1'



REVISION TABLE	DESCRIPTION
NUMBER	DATE

Chelsea Apartments - Renovations

BUILDING ELEVATIONS

DRAWINGS PROVIDED BY:  
Project Management Dept.  
KEFJ

DATE:  
1/17/2025

SCALE: per plan sheet

REGT-1R

SHEET:

A-10



E3 NORTH ELEVATION  
1/4" = 1'



E4 SOUTH ELEVATION  
1/4" = 1'

REVISION TABLE	DESCRIPTION
NUMBER	DATE

Chelsea Apartments - Renovations

BUILDING SECTIONS

DRAWINGS PROVIDED BY:  
Project Management Dept.  
KEFJ

DATE:

1/17/2025

SCALE: per plan sheet

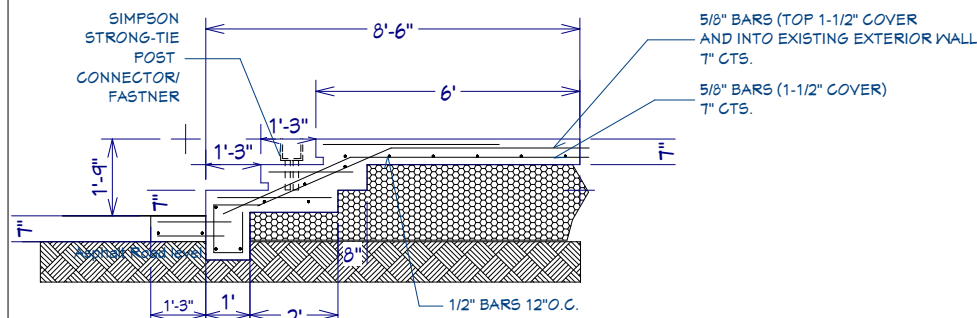
REGT-1R

SHEET:

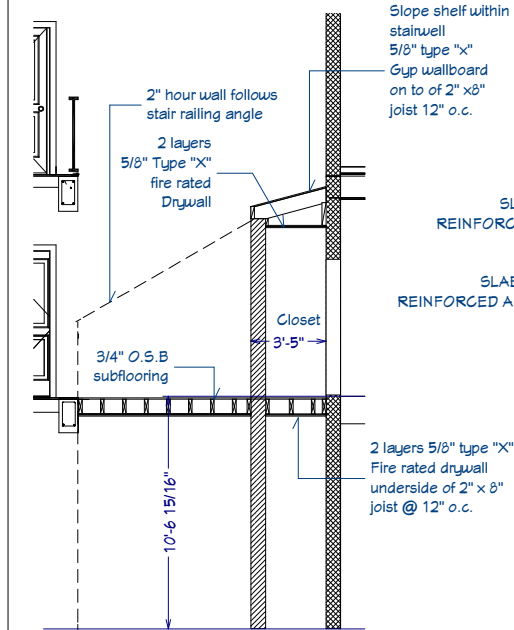
A-11



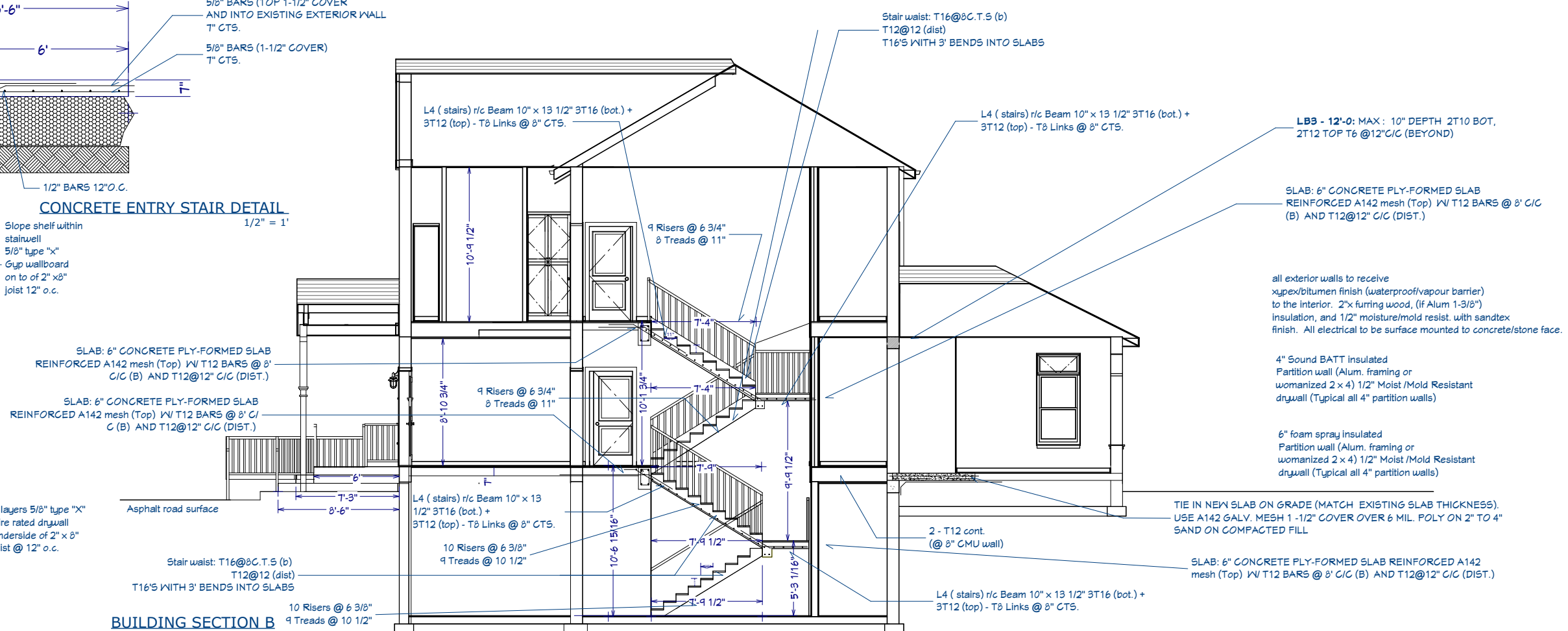
**BUILDING SECTION A**  
1/4" = 1'



**CONCRETE ENTRY STAIR DETAIL**  
1/2" = 1'



**Niche at Stairwell Section** 1/4" = 1'



**BUILDING SECTION B**  
1/4" = 1'



ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

**ELECTRICAL NOTES**

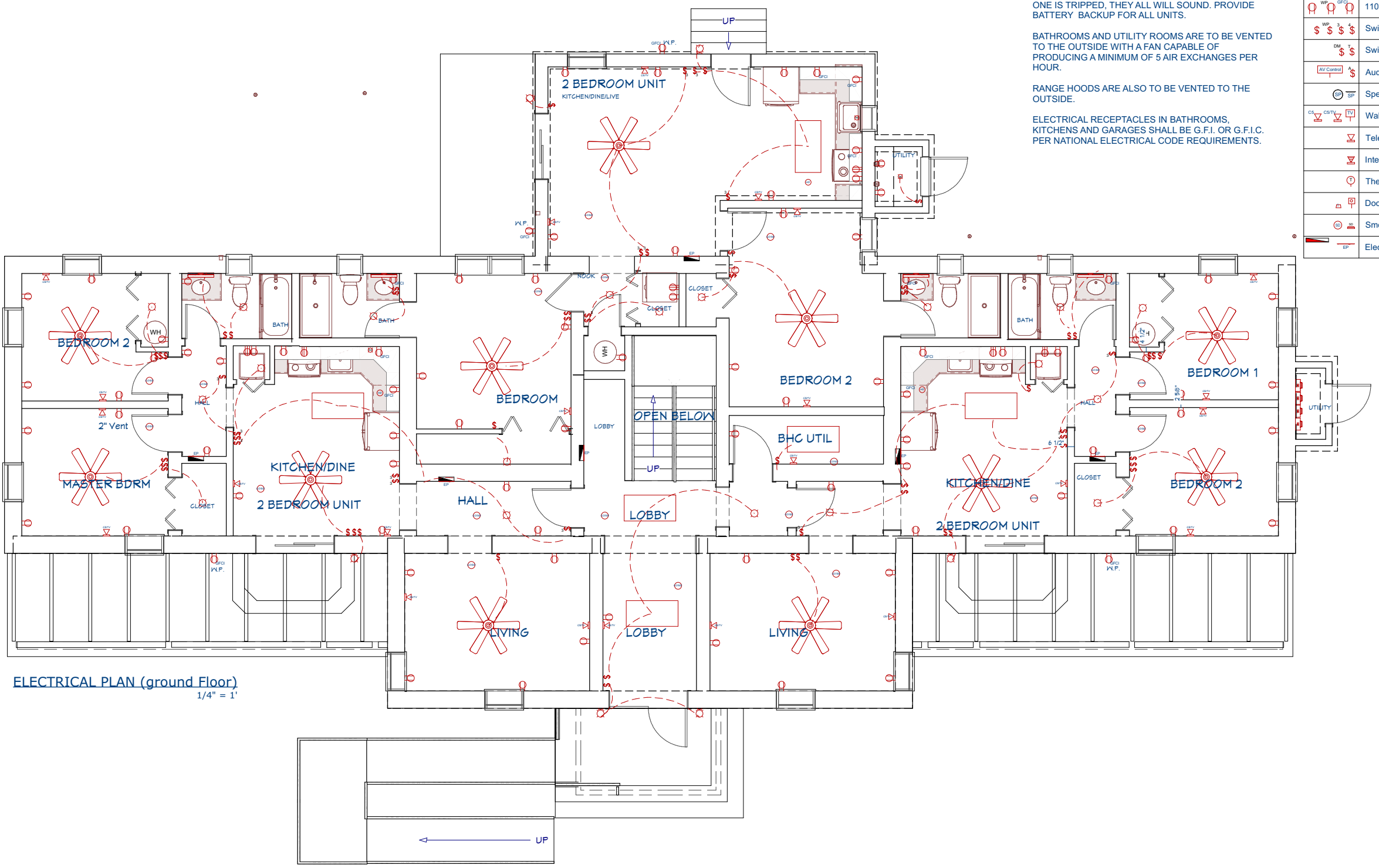
- Electrical wiring paths are for visual reference only.  
- All Electrical shall be in accordance with the 2014 BRBC (primarily but not limited to) section 20 Electrical  
- Electrician shall execute / install in accordance with the 2014 BRBC

PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTERCONNECT SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.

BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO THE OUTSIDE WITH A FAN CAPABLE OF PRODUCING A MINIMUM OF 5 AIR EXCHANGES PER HOUR.

RANGE HOODS ARE ALSO TO BE VENTED TO THE OUTSIDE.

ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.



ELECTRICAL PLAN (ground Floor)  
1/4" = 1'

Electrical Plan View

REVISION TABLE	DESCRIPTION
NUMBER	DATE

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

**ELECTRICAL NOTES**

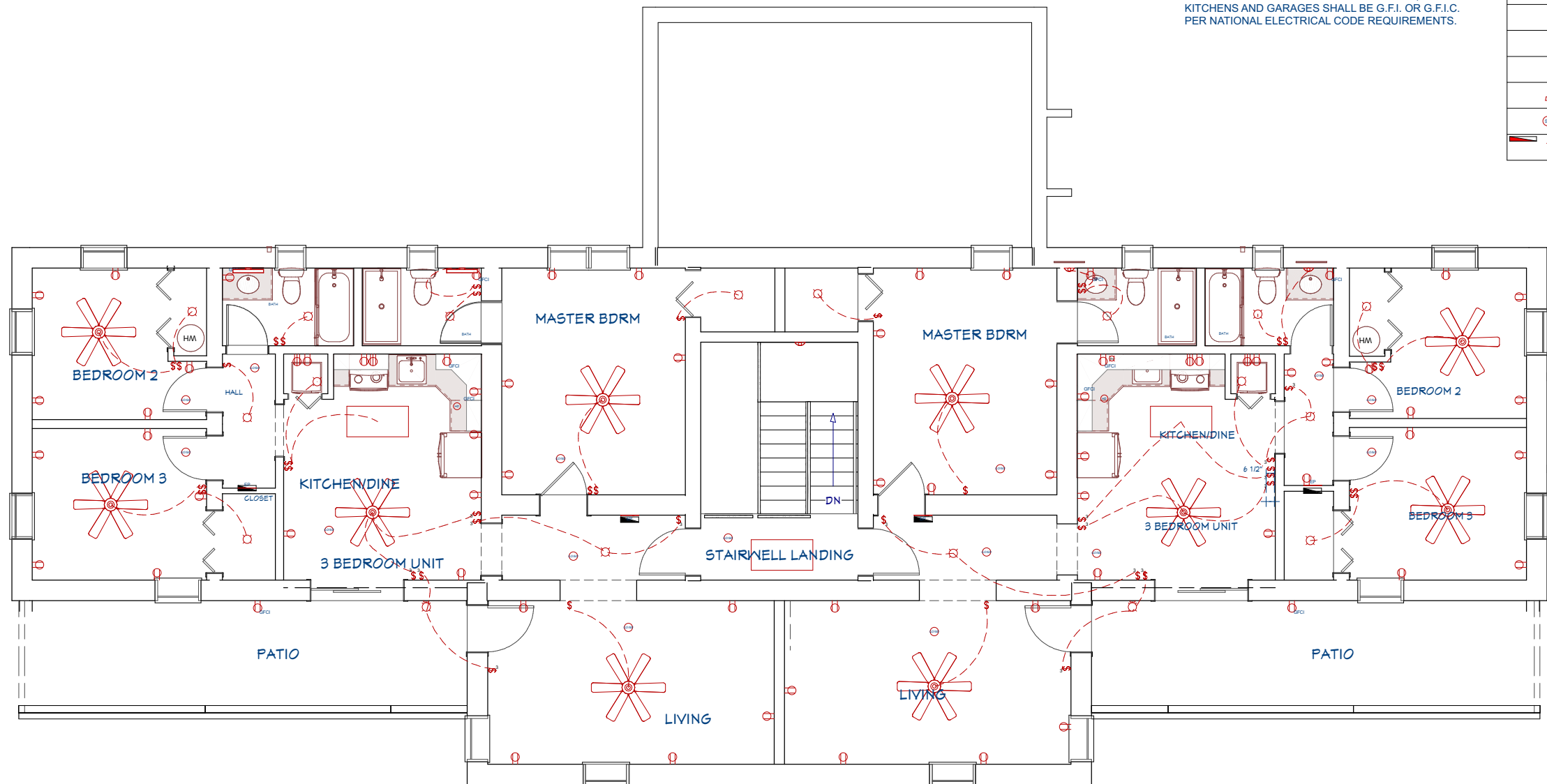
- Electrical wiring paths are for visual reference only.  
- All Electrical shall be in accordance with the 2014 BRBC (primarily but not limited to) section 20 Electrical  
- Electrician shall execute / install in accordance with the 2014 BRBC

PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTERCONNECT SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.

BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO THE OUTSIDE WITH A FAN CAPABLE OF PRODUCING A MINIMUM OF 5 AIR EXCHANGES PER HOUR.

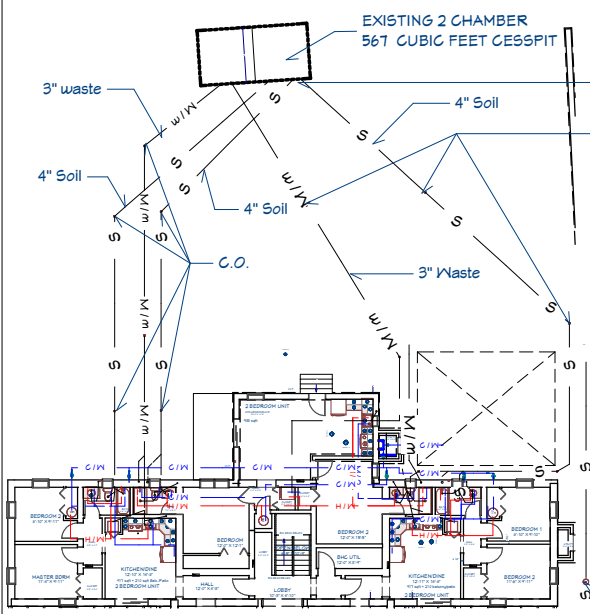
RANGE HOODS ARE ALSO TO BE VENTED TO THE OUTSIDE.

ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.



ELECTRICAL PLAN (SECOND FLOOR)  
1/4" = 1'





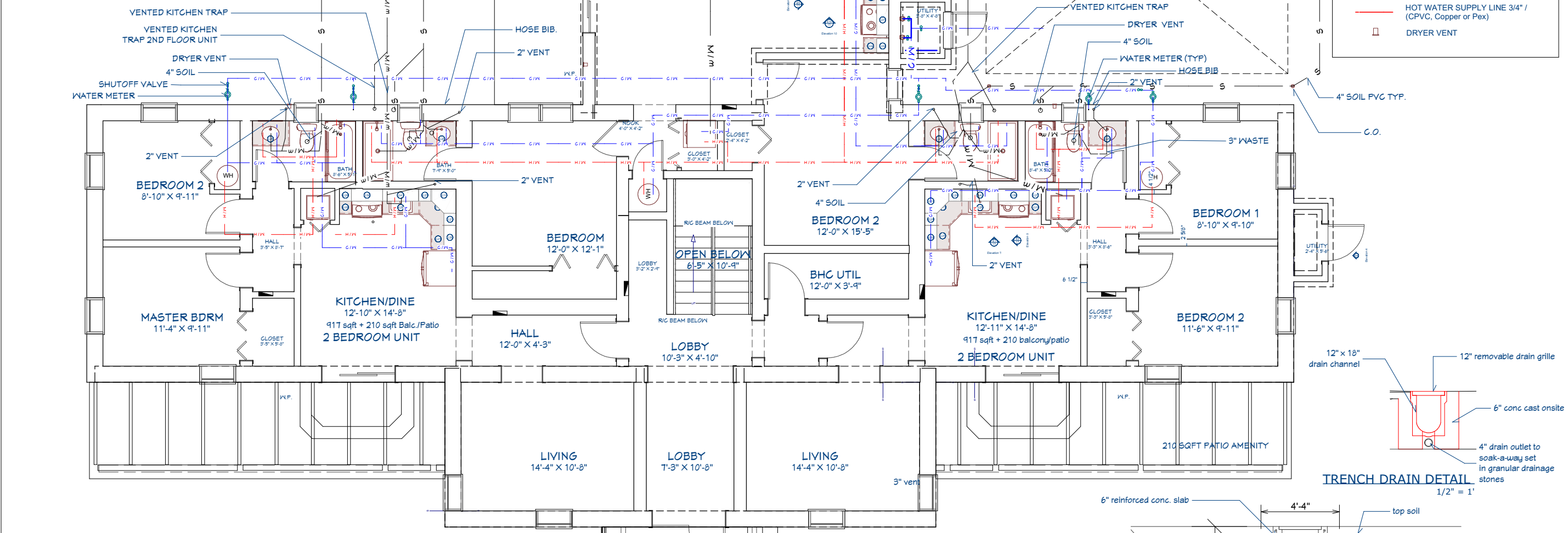
PARTIAL PLUMBING PLAN-CESSPIT ROUTE  
1/16" = 1'

RUNNING TRAP VENT PER 2014 BRBC SECTION 24.11.5 / FIGURE: 24-2

PARTIAL ROOF PLAN OVER SINGLE STORY  
1/16" = 1'

**PLUMBING - LEGEND**

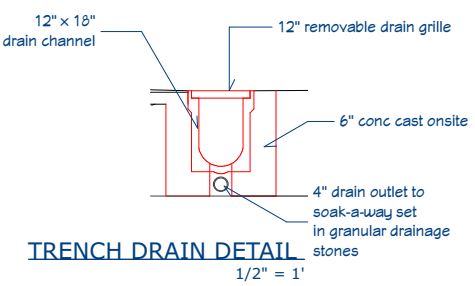
SYMBOL	DESCRIPTION
	WATER HEATER
	DAB PUMP SYSTEM/UNIT
	VALVE
	WATER METER
	COLD WATER SUPPLY 3/4" LINE (PVC)
	HOT WATER SUPPLY LINE 3/4" / (CPVC, Copper or Pex)
	DRYER VENT



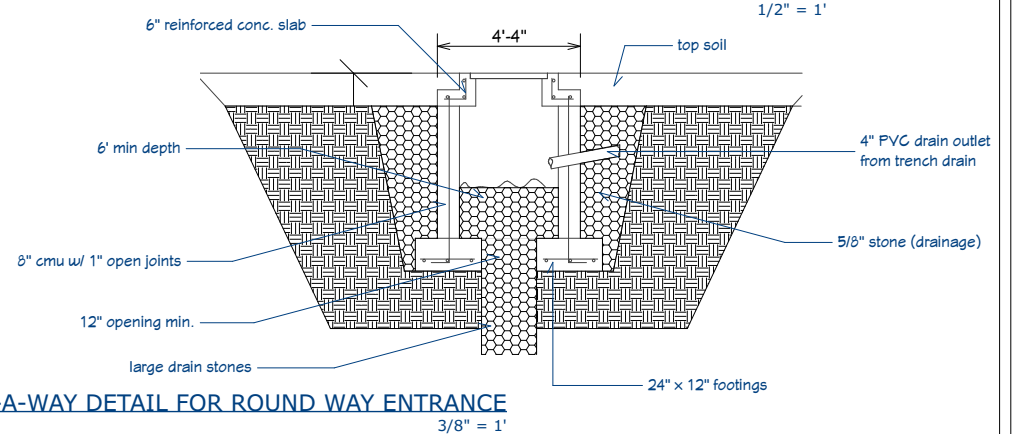
PLUMBING PLAN-GROUND FLOOR PLAN  
1/4" = 1'

Use Vented Trap system as per BRBC fig 23.2  
 3" vent pipe run between attic joist and up through closet wall

**PLUMBING NOTE:**  
 The illustrated Plumbing herein shall be intent.  
 All Plumbing shall comply with the BRBC 2014 Sections 22 through 30 including all other associated sections.



TRENCH DRAIN DETAIL  
1/2" = 1'



SOAK-A-WAY DETAIL FOR ROUND WAY ENTRANCE  
3/8" = 1'

REVISION TABLE	DESCRIPTION
NUMBER	DATE

Chelsea Apartments - Renovations

PLUMBING PLAN

DRAWINGS PROVIDED BY:  
Project Management Dept.  
KEFJ

DATE:

1/17/2025

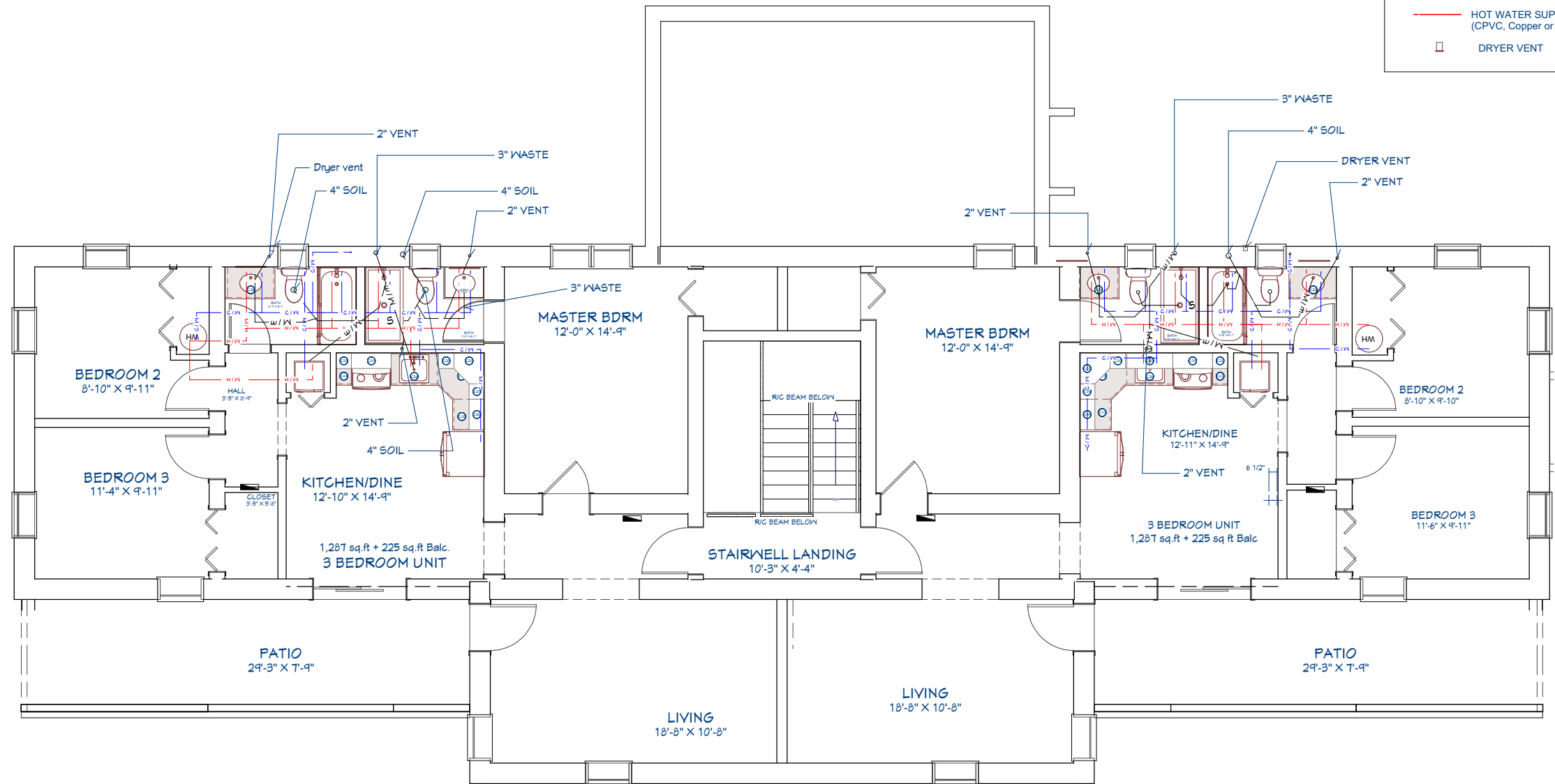
SCALE: per plan sheet

REGT-1R

SHEET:

A-15

PLUMBING - LEGEND	
SYMBOL	DESCRIPTION
	WATER HEATER
	DAB PUMP SYSTEM/UNIT
	VALVE,
	WATER METER
	COLD WATER SUPPLY 3/4" LINE (PVC)
	HOT WATER SUPPLY LINE 3/4" / (CPVC, Copper or Pex)
	DRYER VENT



PLUMBING PLAN- SECOND FLOOR PLAN  
1/4" = 1'

**PLUMBING NOTE:**  
The illustrated Plumbing herein shall be intent.  
All Plumbing shall comply with the BRBC 2014  
Sections 22 through 30 including all other associated  
sections.



REVISION TABLE	DESCRIPTION
NUMBER	DATE

Chelsea Apartments - Renovations

DOOR / WINDOW SCHEDULES

DRAWINGS PROVIDED BY:  
Project Management Dept.  
KEF

DATE:

1/17/2025

SCALE: per plan sheet

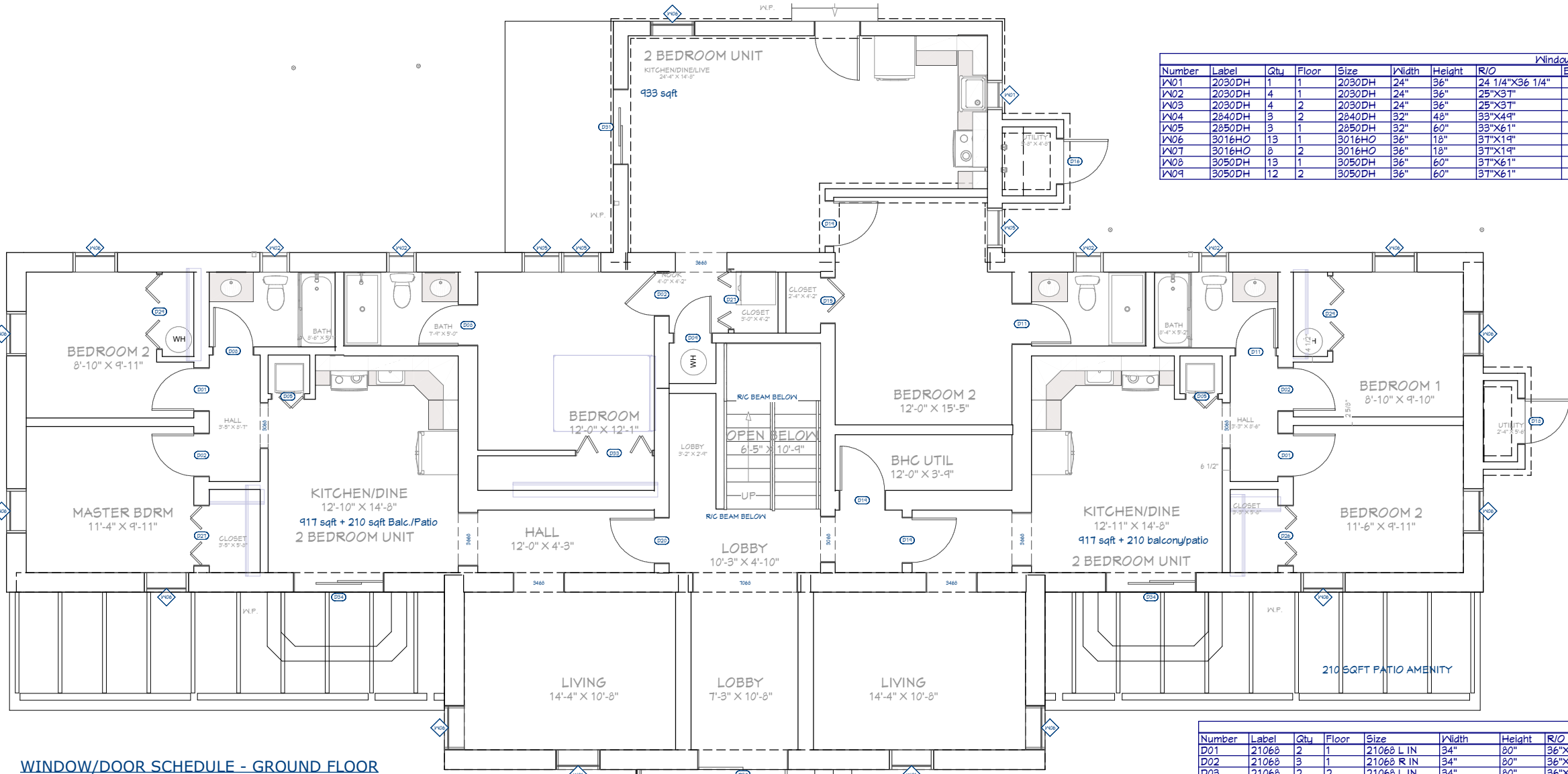
REGT-1R

SHEET:

A-16

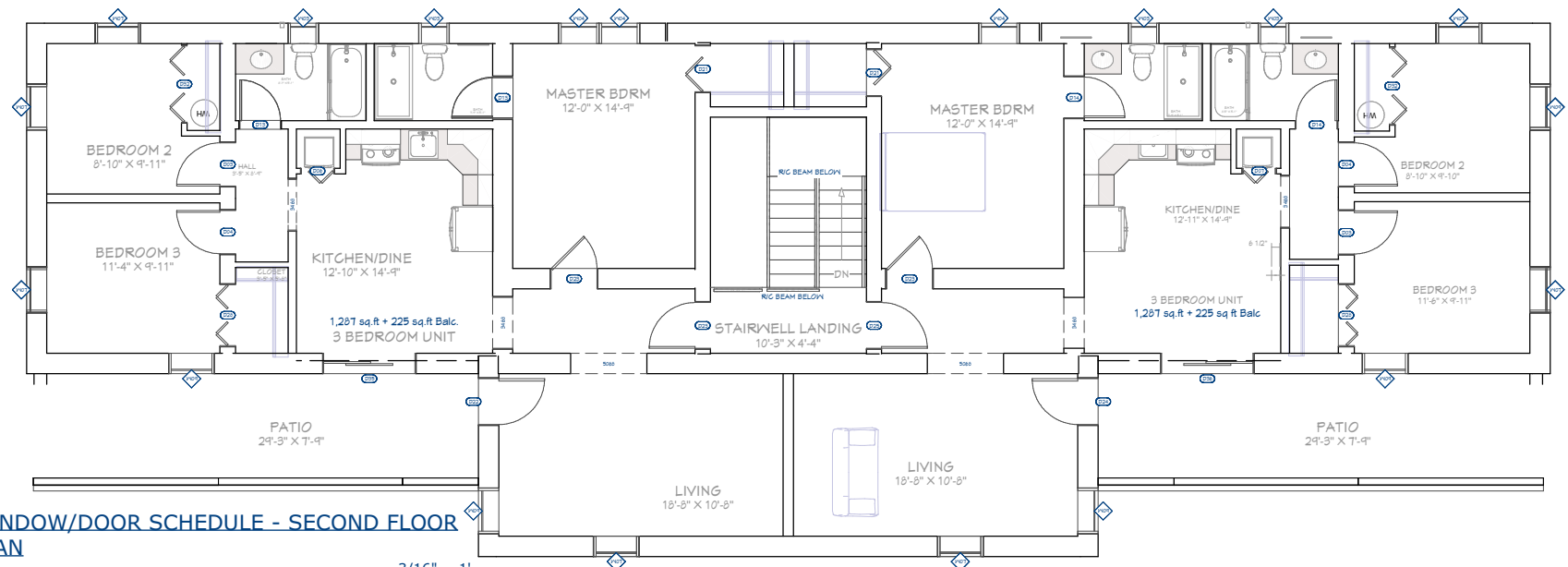
Window Schedule												
Number	Label	Qty	Floor	Size	Width	Height	R/O	Egress	Description	Header	Code	Manufact
W01	2030DH	1	1	2030DH	24"	36"	24	1/4"	X36 1/4"	Double Hung	2"x6"x21 1/4" (2)	
W02	2030DH	4	1	2030DH	24"	36"	25"	X37"	Double Hung	2"x6"x28" (2)		
W03	2030DH	4	2	2030DH	24"	36"	25"	X37"	Double Hung	2"x6"x28" (2)		
W04	2840DH	3	2	2840DH	32"	48"	33"	X44"	Double Hung	2"x6"x36" (2)		
W05	2850DH	3	1	2850DH	32"	60"	33"	X61"	Double Hung	2"x6"x36" (2)		
W06	3016HO	13	1	3016HO	36"	18"	37"	X19"	Single Hopper	2"x6"x40" (2)		
W07	3016HO	8	2	3016HO	36"	18"	37"	X19"	Single Hopper	2"x6"x40" (2)		
W08	3050DH	13	1	3050DH	36"	60"	37"	X61"	Double Hung	2"x6"x40" (2)		
W09	3050DH	12	2	3050DH	36"	60"	37"	X61"	Double Hung	2"x6"x40" (2)		

Door Schedule											
Number	Label	Qty	Floor	Size	Width	Height	R/O	Description	Header	Code	Manufact
D01	21068	2	1	21068 L IN	34"	80"	36"	X82 1/2"	Hinged-Door P04	2"x6"x39" (2)	
D02	21068	3	1	21068 R IN	34"	80"	36"	X82 1/2"	Hinged-Door P04	2"x6"x39" (2)	
D03	21068	2	2	21068 L IN	34"	80"	36"	X82 1/2"	Hinged-Door P04	2"x6"x39" (2)	
D04	21068	2	2	21068 R IN	34"	80"	36"	X82 1/2"	Hinged-Door P04	2"x6"x39" (2)	
D05	2168	2	1	2168 L	25 1/4"	80"	27 1/4"	X82 1/2"	2 Dr. Bifold-Louvered	2"x6"x30 1/2"	
D06	2168	1	2	2168 L	25 1/4"	80"	27 1/4"	X82 1/2"	2 Dr. Bifold-Louvered	2"x6"x30 1/2"	
D07	2168	1	2	2168 R	25 1/4"	80"	27 1/4"	X82 1/2"	2 Dr. Bifold-Louvered	2"x6"x30 1/2"	
D08	2868	2	1	2868 L IN	32"	80"	34"	X82 1/2"	Hinged-Door P04	2"x6"x37" (2)	
D09	2868	1	1	2868 R IN	30"	80"	32"	X82 1/2"	Hinged-Door P04	2"x6"x35" (2)	
D11	2868	2	1	2868 R IN	32"	80"	34"	X82 1/2"	Hinged-Door P04	2"x6"x37" (2)	
D13	2868	4	2	2868 L IN	32"	80"	34"	X82 1/2"	Hinged-Door P04	2"x6"x37" (2)	
D14	2868	2	2	2868 R IN	32"	80"	34"	X82 1/2"	Hinged-Door P04	2"x6"x37" (2)	
D15	3068	1	1	3068 L	36"	80"	38"	X82 1/2"	2 Dr. Bifold-Louvered	2"x6"x41" (2)	
D16	3068	1	1	3068 L EX	36"	80"	37 1/2"	X80 3/4"	ext. Hinged-Door LV01	2"x6"x40 1/2"	
D17	3068	1	1	3068 L EX	36"	80"	38"	X83"	ext. Hinged-Door E21	2"x6"x41" (2)	
D18	3068	1	1	3068 L EX	36"	80"	38"	X83"	ext. Hinged-Door E21	2"x6"x41" (2)	
D19	3068	3	1	3068 L IN	36"	80"	38"	X82 1/2"	Hinged-Door P04	2"x6"x41" (2)	
D20	3068	1	1	3068 R IN	36"	80"	38"	X82 1/2"	Hinged-Door P04	2"x6"x41" (2)	
D21	3068	2	2	3068 L	36"	80"	38"	X82 1/2"	2 Dr. Bifold-Louvered	2"x6"x41" (2)	
D22	3068	1	2	3068 L EX	36"	80"	38"	X83"	ext. Hinged-Door E21	2"x6"x41" (2)	
D23	3068	3	2	3068 L IN	36"	80"	38"	X82 1/2"	Hinged-Door P04	2"x6"x41" (2)	
D24	3068	1	2	3068 R EX	36"	80"	38"	X83"	ext. Hinged-Door E21	2"x6"x41" (2)	
D25	3068	1	2	3068 R IN	36"	80"	38"	X82 1/2"	Hinged-Door P04	2"x6"x41" (2)	
D26	4068	1	1	4068 L/R	48"	80"	49 1/2"	X80 3/4"	4 Dr. Bifold-Louvered	2"x6"x52 1/2"	
D27	4068	2	1	4068 L/R	48"	80"	50"	X82 1/2"	4 Dr. Bifold-Louvered	2"x6"x53" (2)	
D28	4068	2	2	4068 L/R	48"	80"	50"	X82 1/2"	4 Dr. Bifold-Louvered	2"x6"x53" (2)	
D29	5068	2	1	5068 L/R	60"	80"	62"	X82 1/2"	4 Dr. Bifold-Louvered	2"x6"x65" (2)	
D30	6068	1	1	6068 L EX	72"	80"	74"	X83"	ext. Double Hinged-Door E21	2"x8"x71" (2)	
D31	5068	1	1	5068 R IN	60"	80"	62"	X82 1/2"	Slider-Glass Panel	2"x8"x65" (2)	
D32	5068	2	2	5068 L/R	60"	80"	62"	X82 1/2"	4 Dr. Bifold-Louvered	2"x6"x65" (2)	
D33	5168	1	1	5168 L/R	61 3/8"	80"	63 3/8"	X82 1/2"	4 Dr. Bifold-Louvered	2"x6"x66 3/8" (2)	
D34	6068	2	1	6068 R IN	72"	80"	74"	X82 1/2"	Slider-Glass Panel	2"x8"x71" (2)	
D35	6068	1	2	6068 L IN	72"	80"	74"	X82 1/2"	Slider-Glass Panel	2"x8"x71" (2)	
D36	6068	1	2	6068 R IN	72"	80"	74"	X82 1/2"	Slider-Glass Panel	2"x8"x71" (2)	



WINDOW/DOOR SCHEDULE - GROUND FLOOR PLAN

1/4" = 1'



WINDOW/DOOR SCHEDULE - SECOND FLOOR PLAN

3/16" = 1'

REVISION TABLE	DESCRIPTION
NUMBER	DATE

DRAWINGS PROVIDED BY:  
Project Management Dept.  
KEF J

DATE:

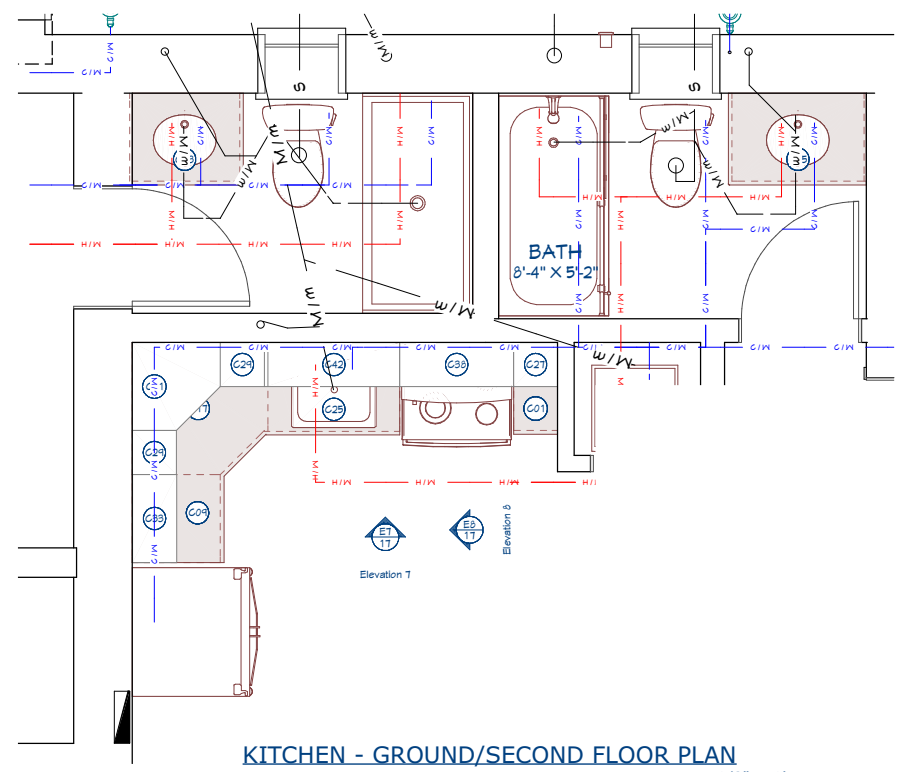
1/17/2025

SCALE: per plan sheet

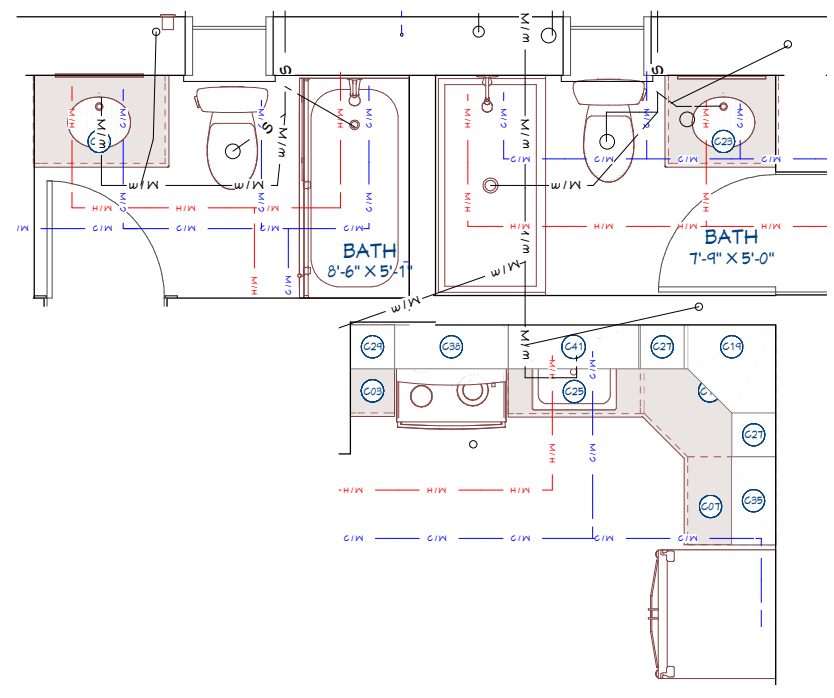
REGT-1R

SHEET:

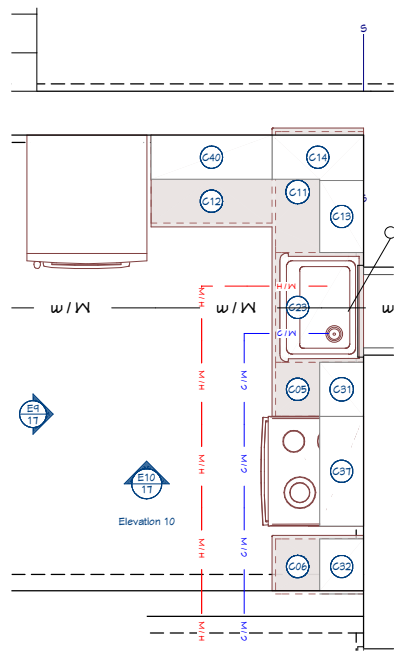
A-17



Kitchen and Bath Plan View



Kitchen and Bath Plan View  
KITCHEN - GROUND/SECOND FLOOR PLAN  
Mirrored



Kitchen and Bath Plan View



Elevation 7



Elevation 8

Cabinet Schedule										
Number	Label	Qty	Floor	Width	Depth	Height	Description	Code	Manufacturer	Comments
C01	B12L	1	1	12"	24"	36"	base cabinet			
C02	B12L	1	2	12"	24"	36"	base cabinet			
C03	B12R	1	1	12"	24"	36"	base cabinet			
C04	B12R	1	2	12"	24"	36"	base cabinet			
C05	B15R	1	1	14 11/16"	24"	36"	base cabinet			
C06	B15R	1	1	15"	24"	36"	base cabinet			
C07	B24L	1	1	24"	24"	36"	base cabinet			
C08	B24L	1	2	24"	24"	36"	base cabinet			
C09	B24R	1	1	24"	24"	36"	base cabinet			
C10	B24R	1	2	24"	24"	36"	base cabinet			
C11	B33	1	1	32 15/16"	24"	36"	base cabinet			
C12	B33	1	1	33"	24"	36"	base cabinet			
C13	BCV2036R	1	1	14 9/16"	12"	36"	wall cabinet			
C14	BCV2536R	1	1	25"	12"	36"	wall cabinet			

Kitchen and Bath Plan View



Elevation 9



Elevation 10