

DRAWING INDEX:

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PROJECT DATA

ZONING:	RESIDENTIAL 1
LOT AREA.	7,710 SF
EX. SITE COV.	2,800 SF
EX. FLOOR AREA.	5,340 SF
PROP. SITE COV.	N/A
PROP. FLOOR AREA.	N/A
TOTAL NEW SITE COV.	2,800 SF
TOTAL NEW FL. AREA.	5,240 SF
TANK CAPACITY:	21,000 IMP GAL.



LOCATION PLAN
NOT TO SCALE

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GENERAL NOTES ARCHITECTURAL:-

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No. _____ Date: _____ Revisions: _____

PROJECT DATA
PROPOSED INTERIOR RENOVATIONS TO EXISTING 4 - TWO BEDROOM APARTMENTS .
BERMUDA HOUSING CORPORATION
#7 MIDDLE TOWN ROAD PEMBROKE HM 01

SHEET TITLE:

LOCATION PLAN

Drawn by: T.S.T

Date: APRIL, 2024

Scale: AS NOTED

Project No. _____

Drawing No. _____

A.01

VISION

DESIGN & DRAFTING SERVICES

Terron Thompson

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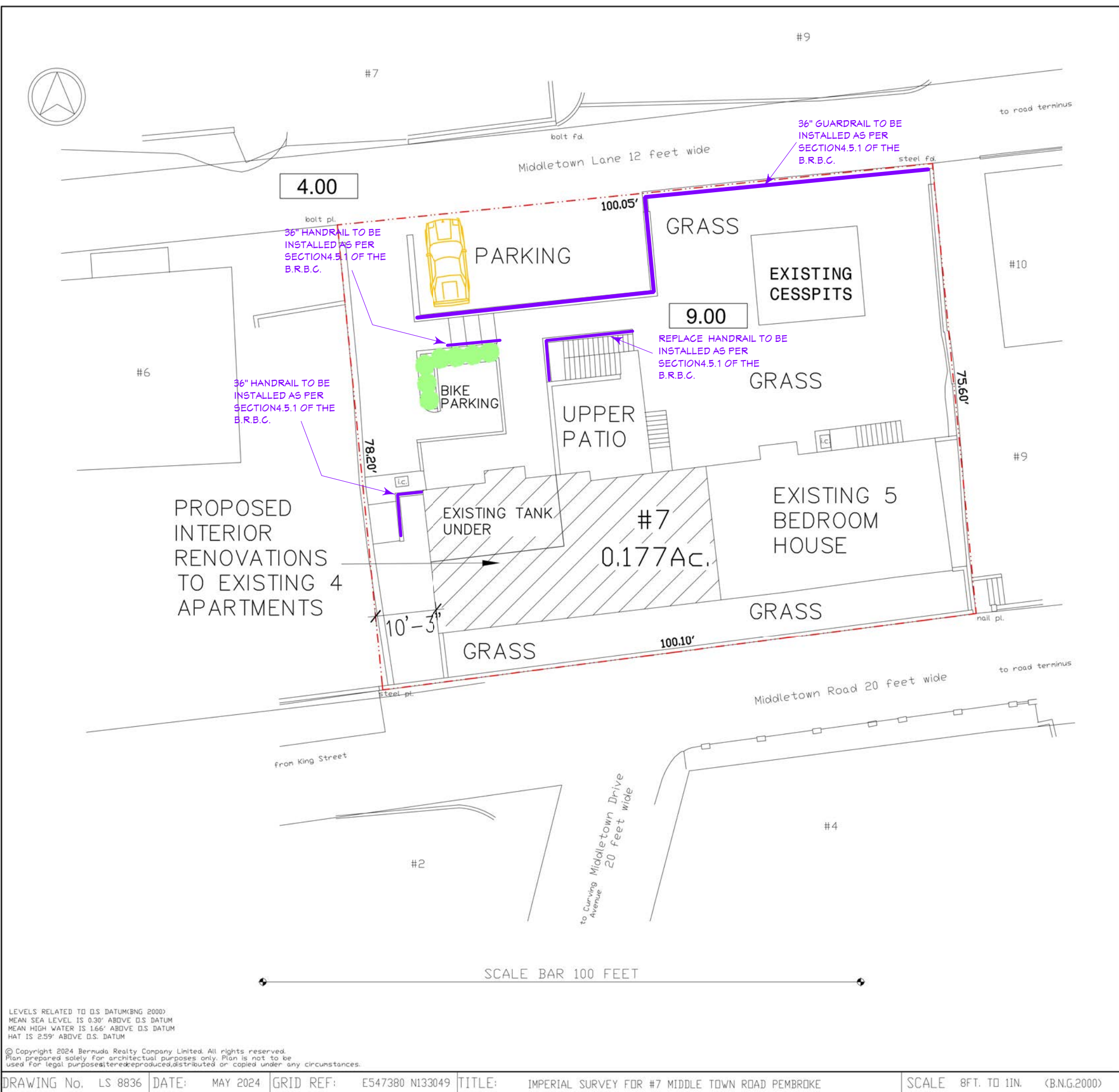
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NORTH ELEVATION



NORTHWEST ELEVATION



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PROJECT DATA
 PROPOSED INTERIOR RENOVATIONS TO EXISTING 4 - TWO BEDROOM APARTMENTS .
 BERMUDA HOUSING CORPORATION
 #7 MIDDLE TOWN ROAD PEMBROKE
 HM 01

SHEET TITLE:

SITE PLAN

Drawn by: T.S.T

Date: APRIL 2024

Scale: AS NOTED

Project No. _____

Drawing No. _____

A.02

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No. _____ Date: _____ Revisions: _____

PROJECT DATA
 PROPOSED INTERIOR RENOVATIONS TO EXISTING 4 - TWO BEDROOM APARTMENTS.
 BERMUDA HOUSING CORPORATION
 #7 MIDDLE TOWN ROAD PEMBROKE HM 01

SHEET TITLE:
UPPER FLOOR PLAN

Drawn by: T.S.T
 Date: APRIL, 2024
 Scale: AS NOTED
 Project No. _____
 Drawing No. _____

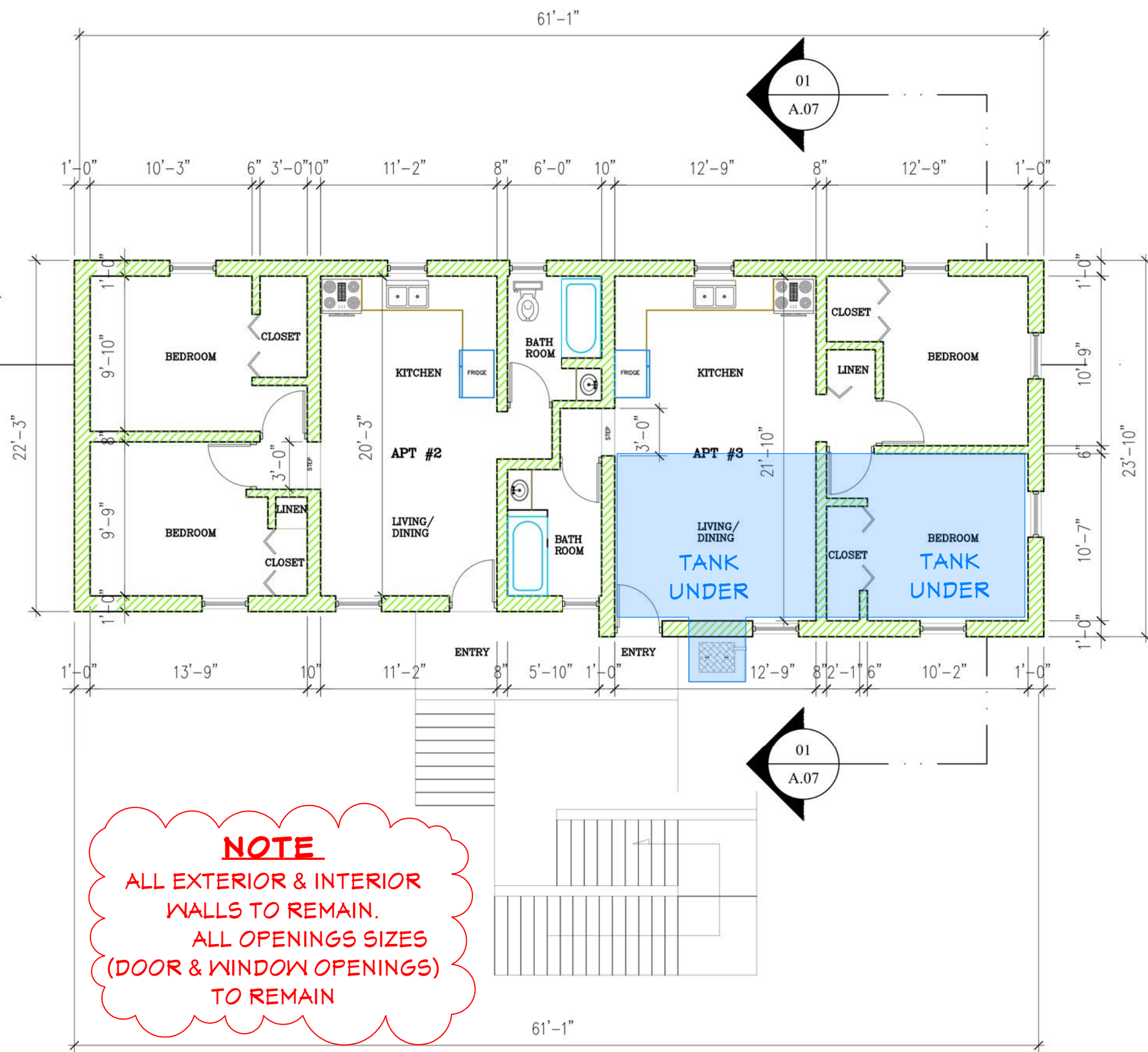
A.03

VISION

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NOTE
 ALL EXTERIOR & INTERIOR WALLS TO REMAIN.
 ALL OPENINGS SIZES (DOOR & WINDOW OPENINGS) TO REMAIN

ARCHITECTURAL KEY

- Detail Designation
- Drawing Number
- Room Number
- Door Designation
- Window Designation
- Concrete
- Existing Conc. Block
- Wall To Be Demolished

01 LOWER FLOOR PLAN
 A.03 SCALE: 1/8" = 1'-0"

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PROPOSED INTERIOR RENOVATIONS TO EXISTING 4 - TWO BEDROOM APARTMENTS .
BERMUDA HOUSING CORPORATION
#7 MIDDLE TOWN ROAD PEMBROKE HM 01

SHEET TITLE:

UPPER FLOOR PLAN

Drawn by: T.S.T

Date: APRIL 2024

Scale: AS NOTED

Project No. _____

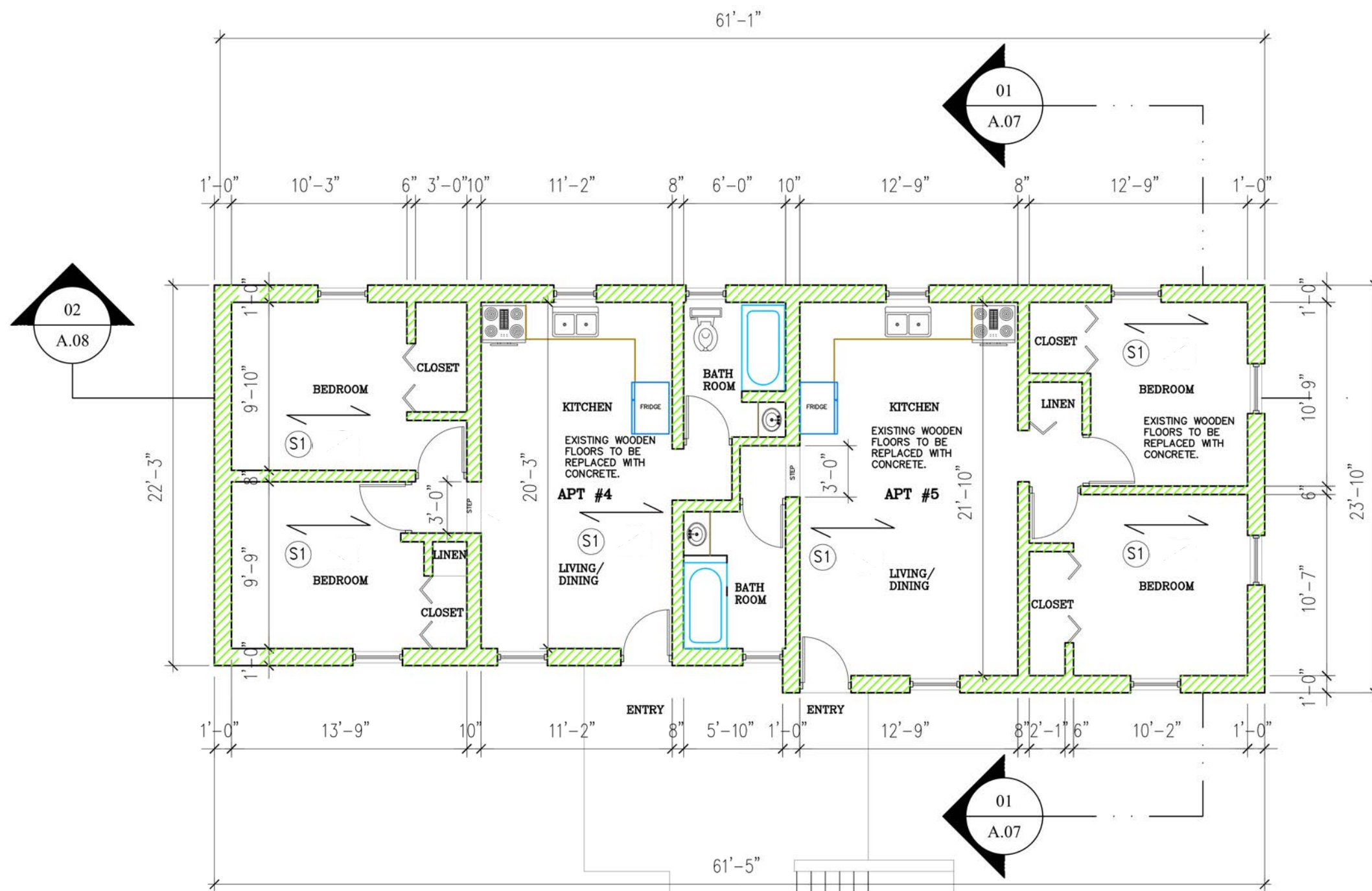
Drawing No. **A.04**

VISION

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02 UPPER FLOOR PLAN
 A.04 SCALE: 3/16" = 1'-0"

ARCHITECTURAL KEY

- Detail Designation
- Drawing Number
- Room Number
- Door Designation
- Window Designation
- Concrete
- Existing Conc. Block
- Wall To Be Demolished

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PROJECT DATA
 PROPOSED INTERIOR RENOVATIONS TO EXISTING 4 - TWO BEDROOM APARTMENTS.
 BERMUDA HOUSING CORPORATION
 #7 MIDDLE TOWN ROAD PEMBROKE HM 01

SHEET TITLE:
 LOWER FLOOR PLAN ELECTRICAL/ PLUMBING

Drawn by: T.S.T
 Date: APRIL 2024
 Scale: AS NOTED
 Project No. _____
 Drawing No. **A.05**

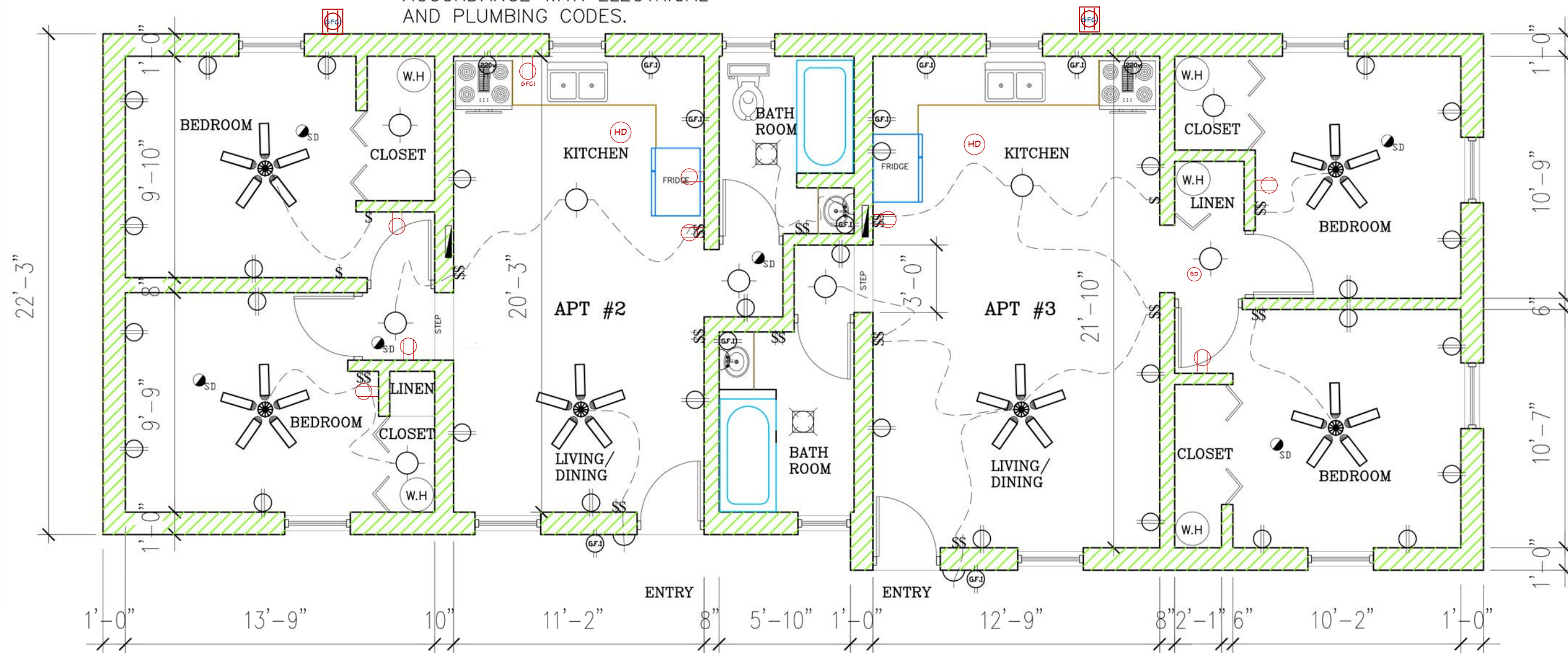
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 Terron Thompson

#3 Longridge Pass, Devonshire DV 01
 Tel: 336-3674 E-Mail: vision@logic.bm

ALL EXISTING ELECTRICAL AND PLUMBING TO BE UPGRADED IN ACCORDANCE WITH ELECTRICAL AND PLUMBING CODES.

ALL WINDOWS AND DOORS TO BE CHANGED WITH NEW.



01 LOWER FLOOR ELECTRICAL/ PLUMBING PLAN

A.05 SCALE: 3/16" = 1'-0"

PLUMBING KEY

- Waste Line
- Sanitary Line
- Fresh Water Line
- Hot Water Line
- Hot Water Return
- RWL— Rain Water Leader
- G— Gas Line
- Pump
- PT Pressure Tank
- WH Water Heater
- C/O Clean Out
- Valve
- Hose Bib

ELECTRICAL KEY

- ⊕ 20 amp Duplex Receptacle
- ⊕ 220V Receptacle
- ⊕ Dedicated Receptacle
- ⊕ Floor Receptacle
- GFI Ground Fault Interrupter
- \$ Single Pole Switch
- \$³ 3 Way Switch
- \$^D Dimmer Switch
- \$^L Lighted Switch
- ◁ Telephone Outlet
- ◄ Cable Outlet
- JB Junction Box
- ▬ Breaker Panel
- ▬ Disconnect
- Ⓜ Meter
- MH Mounting Height
- Smoke Detector
- ⊠ Heater, Light, Vent

ARCHITECTURAL KEY

- Detail Designation
- Drawing Number
- Room Number
- Door Designation
- ⬡ Window Designation
- ▬ Concrete
- ▬ Concrete Block
- ▬ Wall To Be Demolished
- ▬ Existing Wall
- ▬ Concrete Filled Block
- ▬ Bermuda Stonework
- ▬ Studwork
- ▬ Wall Stiffener

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No. _____ Date: _____ Revisions: _____

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 BERMUDA HOUSING CORPORATION
 #7 MIDDLE TOWN ROAD PEMBROKE HM 01

SHEET TITLE:
 UPPER FLOOR PLAN
 ELECTRICAL/ PLUMBING

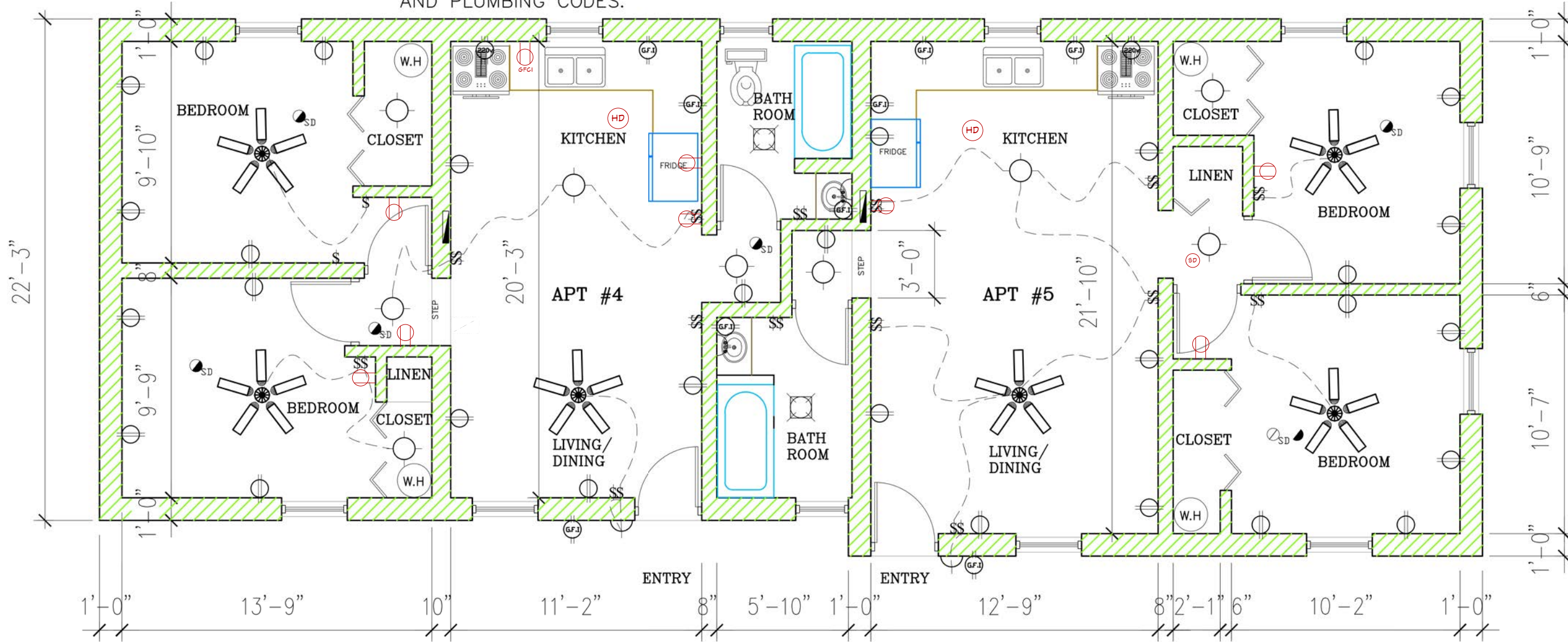
Drawn by: T.S.T
 Date: APRIL 2024
 Scale: AS NOTED
 Project No. _____
 Drawing No. **A.06**

VISION

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02 UPPER FLOOR ELECTRICAL/ PLUMBING PLAN

A.06 SCALE: 3/16" = 1'-0"

PLUMBING KEY

- Waste Line
- Sanitary Line
- Fresh Water Line
- Hot Water Line
- Hot Water Return
- RWL— Rain Water Leader
- Gas Line
- Pump
- PT Pressure Tank
- WH Water Heater
- C/O Clean Out
- Valve
- Hose Bib

ELECTRICAL KEY

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- \$ Single Pole Switch
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- \$^D Dimmer Switch
- \$^L Lighted Switch
- ◁ Telephone Outlet
- ◄ Cable Outlet
- JB Junction Box
- Breaker Panel
- Disconnect
- Ⓜ Meter
- MH Mounting Height
- Smoke Detector
- ⊠ Heater, Light, Vent

ARCHITECTURAL KEY

- Detail Designation
- Drawing Number
- Room Number
- Door Designation
- ⬡ Window Designation
- Concrete
- ▨ Concrete Block
- Wall To Be Demolished
- ▨ Existing Wall
- ▨ Concrete Filled Block
- ▨ Bermuda Stonework
- ▨ Studwork
- ▨ Wall Stiffener

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- GENERAL CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS, GRADES, & LAY OUT THE WORK ON SITE PRIOR TO BEGINNING WORK. ANY DISCREPANCIES OR CONFLICTS SHALL BE REPORTED TO THE ARCHITECT OR ENGINEER IMMEDIATELY.
- CONFINE BUILDING OPERATIONS TO THE JOB SITE & KEEP SITE FREE OF ACCUMULATED WASTE MATERIALS.
- AT COMPLETION OF THE WORK, ALL CONTRACTOR'S EQUIPMENT, WASTE MATERIAL, & DEBRIS SHALL BE REMOVED FROM SITE. SITE SHALL BE LEFT "BROOM CLEAN."
- WITHOUT COST TO THE OWNER, PROMPTLY CORRECT ANY WORK FOUND TO BE DEFECTIVE WITHIN ONE YEAR OF THE CERTIFICATE OF OCCUPANCY.
- THE GENERAL CONTRACTOR SHALL BE HELD RESPONSIBLE FOR & LIABLE FOR THE OBSERVANCE OF SAFETY PRECAUTIONS & THE PROTECTION OF LIFE & PROPERTY AT ALL TIMES FOR THE DURATION OF THE WORK.
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No. _____ Date: _____ Revisions: _____

PROJECT DATA
PROPOSED INTERIOR RENOVATIONS TO EXISTING 4 - TWO BEDROOM APARTMENTS .
BERMUDA HOUSING CORPORATION
#7 MIDDLE TOWN ROAD PEMBROKE HM 01

SHEET TITLE:

CONSTRUCTION SECTION 01

Drawn by: T.S.T

Date: APRIL 2024

Scale: AS NOTED

Project No. _____

Drawing No. _____

A.07

VISION

DESIGN & DRAFTING SERVICES

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 Tel: 336-3674 E-Mail: vision@logic.bm

CONCRETE SLAB LEGEND

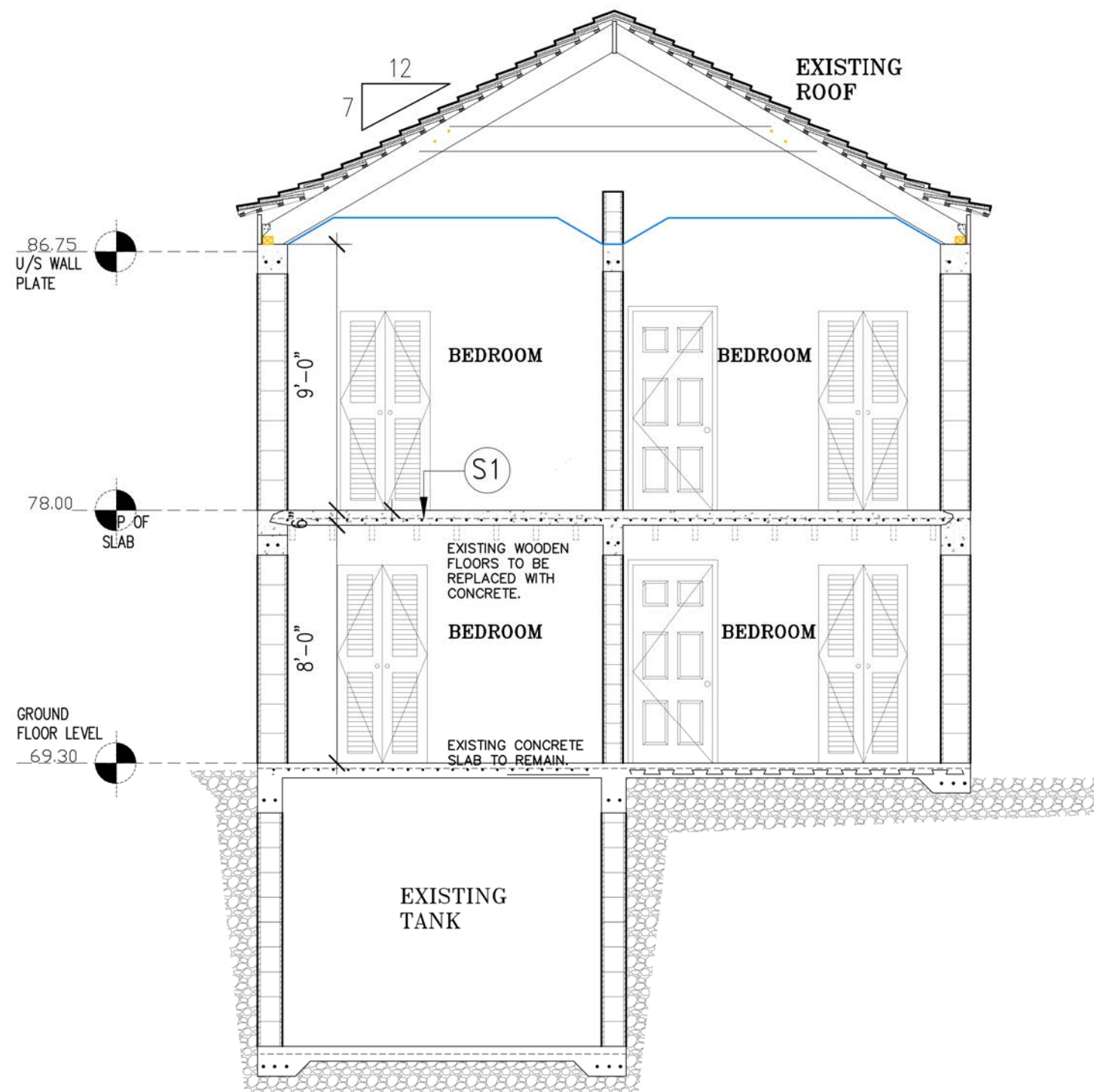
- (S1)** DENOTES SPAN OF 6" THICK PLYFORMED R.C. SLAB WITH T-12 @ 8" C/C MAIN BARS ON BOTTOM AND T-12 @ 12" C/C TRANSVERSE REBARS. TO BE TYPICAL THROUGHOUT.
- (S2)** DENOTES SPAN OF 6" THICK SLAB ON EPICORE METAL DECK WITH A-142 MESH ABOVE
- (S3)** DENOTES SPAN OF 8" THICK CANTILEVER PLYFORMED SLAB WITH T16 @ 8" CTS REBARS (1 1/2" FROM TOP) AND T10@12"CTS TRANSV. REBARS. REBARS TO EXTEND BEYOND THE SUPPORT WALL BY 1.5xSPAN OF CANTILEVER.
- (S4)** DENOTES SLAB ON GRADE TO BE 6" CONC. SLAB 3000 PSI W/ #A 142 MESH ON 6 MIL. POLYETHYLENE OVER GRADE AREA @ 1-1/2" MIN. COVER (T) ON WELL COMPACTED FILL. TYPICAL THROUGHOUT WHERE REQUIRED.
- (S5)** DENOTES SPAN OF 8" THICK PLYFORMED R.C. SLAB WITH T-12 @ 8" C/C MAIN BARS ON BOTTOM AND T-12 @ 8" C/C TRANSVERSE REBARS. TO BE TYPICAL THROUGHOUT.

PLUMBING KEY

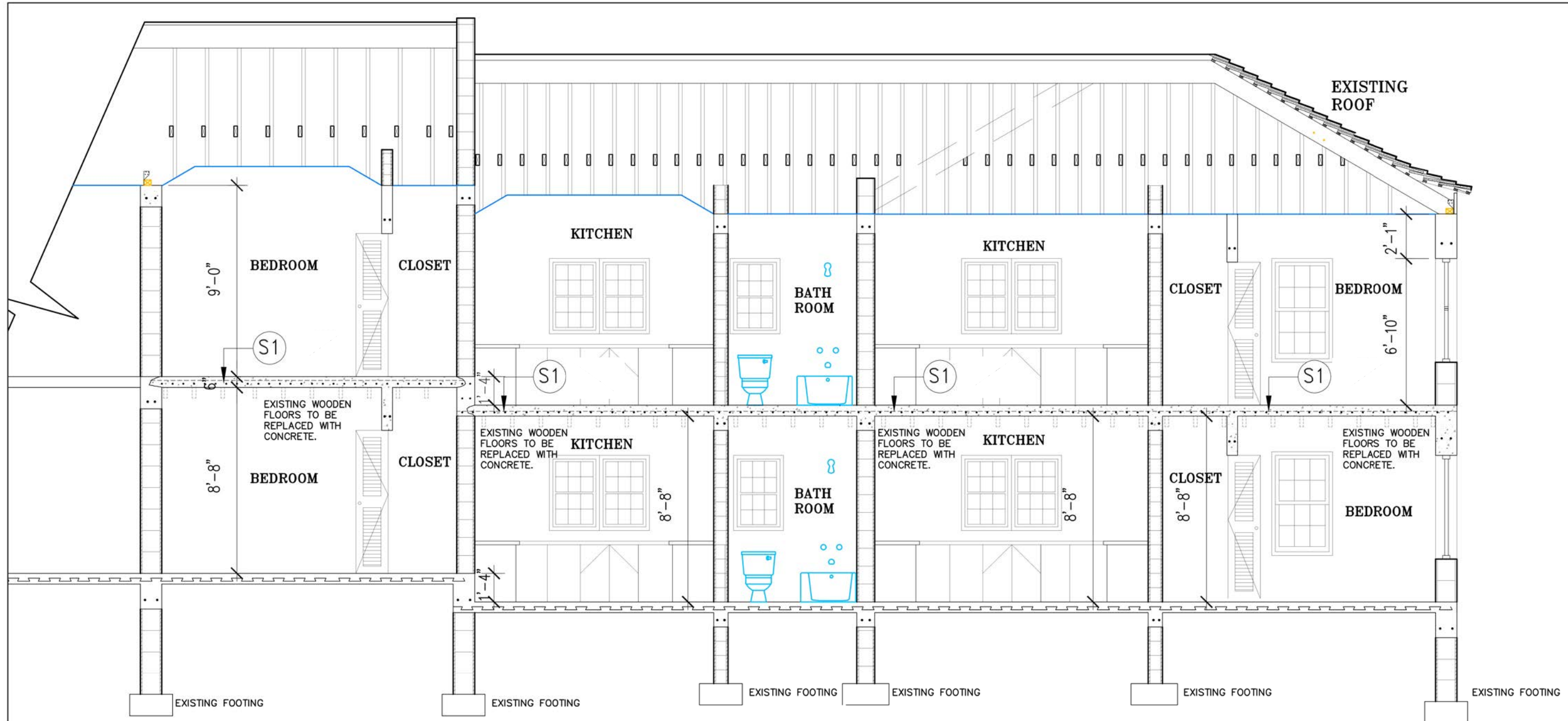
- Waste Line
- Sanitary Line
- Fresh Water Line
- Hot Water Line
- Hot Water Return
- RWL— Rain Water Leader
- G— Gas Line
- Pump
- PT Pressure Tank
- WH Water Heater
- C/O Clean Out
- Valve
- Hose Bib

ELECTRICAL KEY

- ⊕ 20 amp Duplex Receptacle
- ⊕ 220V Receptacle
- ⊕ Dedicated Receptacle
- ⊕ Floor Receptacle
- GFI Ground Fault Interrupter
- \$ Single Pole Switch
- \$³ 3 Way Switch
- \$^D Dimmer Switch
- \$^L Lighted Switch
- ◁ Telephone Outlet
- ◄ Cable Outlet
- JB Junction Box
- ▬ Breaker Panel
- Disconnect
- Ⓜ Meter
- MH Mounting Height
- Smoke Detector
- ⊠ Heater, Light, Vent



01 CONSTRUCTION SECTION 01
 A.07 SCALE: 3/8" = 1'-0"



02 CONSTRUCTION SECTION 02
A.08 SCALE: 3/8" = 1'-0"

CONCRETE SLAB LEGEND

- (S1) DENOTES SPAN OF 6" THICK PLYFORMED R.C. SLAB WITH T-12 @ 8" C/C MAIN BARS ON BOTTOM AND T-12 @ 12" C/C TRANSVERSE REBARS. TO BE TYPICAL THROUGHOUT.
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NOTICE

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Seen/approved by: _____ Date: _____

TERRON THOMPSON

GENERAL NOTES ARCHITECTURAL:-

1. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE & NOTIFY DESIGNER OF ANY DISCREPANCIES.
2. ALL CONSTRUCTION DOCUMENTS TO BE READ IN CONJUNCTION WITH EACH OTHER.
3. ALL EXTERIOR WALLS TO BE 10" CONC. MASONRY UNITS. UNLESS OTHERWISE NOTED.
4. ALL EXPOSED METAL TO BE PRIMED WITH RUST RETARDANT, PRIME & PAINTED.
5. ALL WALL PLATES TO BE ANCHORED TO WALL WITH 1/2" DIA. GALVANIZED BOLT @ 1200MM OR 48".
6. EACH ALTERNATE RAFTERS TO HAVE MILD STEEL HURRICANE STRAPS/ CLIPS.

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BERMUDA HOUSING CORPORATION
#7 MIDDLE TOWN ROAD PEMBROKE HM 01

SHEET TITLE:
CONSTRUCTION SECTION 02

Drawn by: T.S.T
 Date: APRIL 2024
 Scale: AS NOTED
 Project No. _____
 Drawing No. **A.08**

VISION
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 Tel: 336-3674 E-Mail: vision@logic.bm